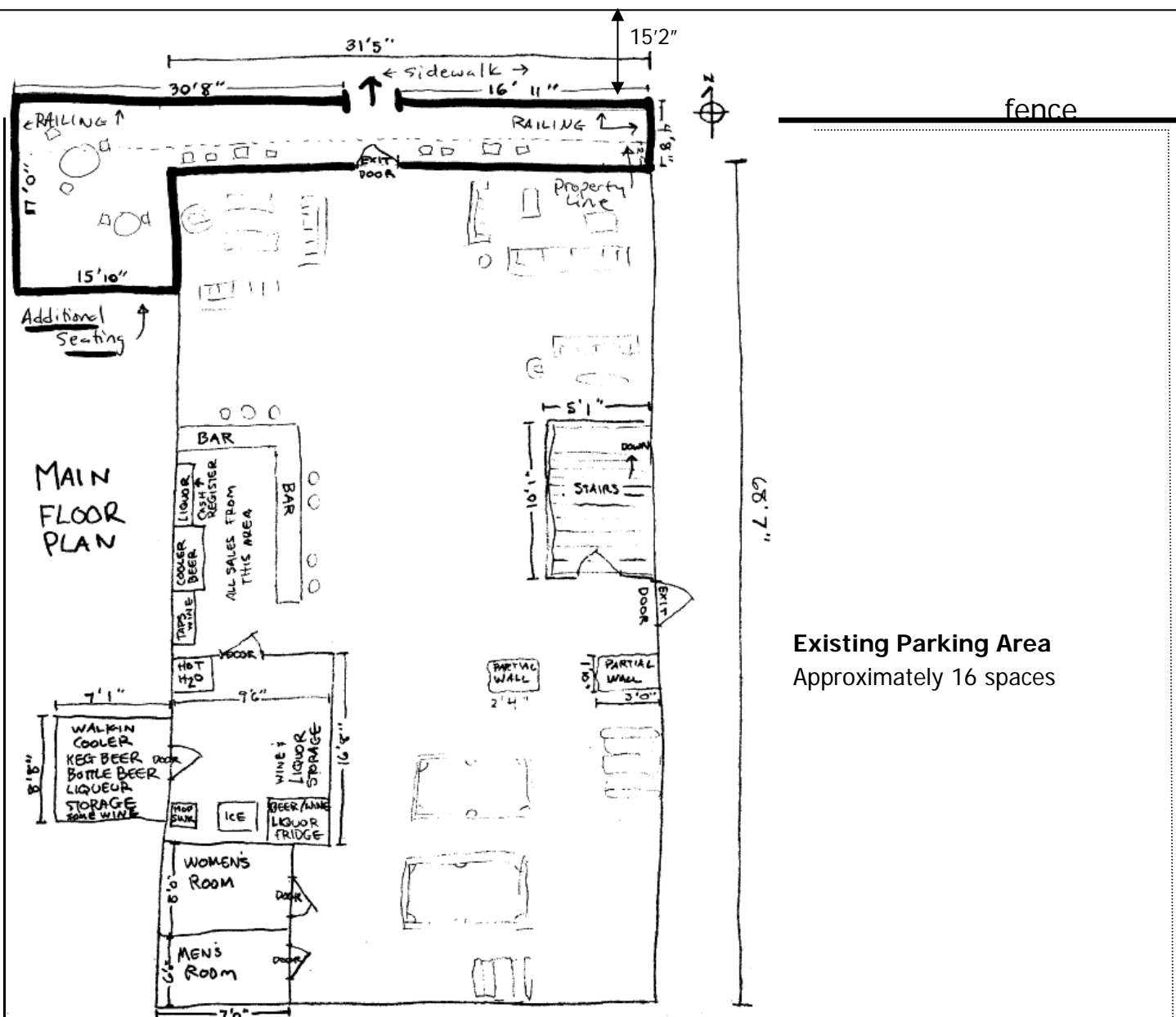


Locust Street
70 ft row



Site Plan for Frank's North Star Tavern Hospitality Area

- SITE PLAN IS INTENDED TO DOCUMENT EXISTING USE WHILE SHOWING THE PROPOSED USE, HOSPITALITY AREA, IN BOLD LINE IN NORTHWEST CORNER OF PROPERTY.
- LEGAL: NORTH LAWRENCE SUB OF S 1/2 BLK 5 LTS 223,225,227 & 229
 - OWNER: JESSE M DELCAMPO AND SEVERINA M DELCAMPO
 - ADDRESS: 508 LOCUST
 - ZONING: CS
 - CURRENT USE: TAVERN
 - PROPOSED USE: ADDITION OF HOSPITALITY AREA TO TAVERN
 - SITE AREA: 9843.75 SQ FT
 - HOSPITALITY AREA: 415.77 SQ FT
 - HOSPITALITY AREA IN RIGHT-OF-WAY: 126 SQ FT
 - HOSPITALITY AREA RAILINGS SHALL BE WROUGHT IRON. DETAILS OF RAILINGS PROVIDED
 - PARKING: SEE VARIANCE NOTE BELOW
 - PER CITY CODE SECTION 9-902, THE OUTDOOR DINING AREA WILL BE MANAGED TO PREVENT STORMWATER POLLUTION. FOOD WASTE, TRASH, CIGARETTES, AND OTHER SOLID WASTES WILL BE COLLECTED AND DISPOSED OF PROPERLY. FLUID WASTE, INCLUDING WASTEWATER FROM PAVEMENT OR FURNITURE CLEANING, WILL BE COLLECTED AND DISCHARGED TO THE SANITARY SEWER SYSTEM.
 - THE SIDEWALK HOSPITALITY AREA IS SUBJECT TO THE PROVISIONS OF ORDINANCE NO. 8274 REGARDING THE USE OF SIDEWALKS FOR SIDEWALK DINING AND HOSPITALITY ESTABLISHMENTS:
 - THE SIDEWALK DINING/HOSPITALITY AREA IS NOT BEING USED WHEN THE ESTABLISHMENT IS CLOSED.
 - ADVERTISING SIGNAGE IS NOT PRESENT IN THE SIDEWALK DINING/HOSPITALITY AREA EXCEPT FOR THE NAME OF THE ESTABLISHMENT ON CHAIRS OR TABLES AS APPROVED BY THE CITY.
 - ALL AMENITIES INCLUDING RAILINGS, BARRIERS, CHAIRS, AND TABLES ARE MAINTAINED IN GOOD CONDITION.
 - THERE IS NO BLOCKAGE OF BUILDING ENTRANCES OR EXITS IN THE SIDEWALK DINING/HOSPITALITY AREA.
 - THE SIDEWALK DINING/HOSPITALITY AREA; THE AREA FROM THE FRONT BUILDING FAÇADE TO THE CURB LINE; AND 5 FEET ALONG THE ADJACENT SIDEWALK TO BOTH SIDES OF THE SIDEWALK HOSPITALITY AREA, CONTAIN NO TRASH.
 - NO TRASH OR REFUGE STORAGE CONTAINERS ARE IN THE SIDEWALK DINING/HOSPITALITY AREA OR ON ADJACENT SIDEWALK AREAS.
 - FOOD, WASTE, TRASH, CIGARETTES, AND OTHER SOLID WASTES MUST BE CONTAINED, COLLECTED, AND DISPOSED OF PROPERLY. COLLECTION MUST BE FREQUENT ENOUGH TO PREVENT WASTES BEING CARRIED OFF BY WIND OR STORMWATER RUNOFF.
 - PAVEMENT AND FURNISHINGS MUST BE CLEANED FREQUENTLY ENOUGH TO PREVENT CONTAMINATION OF STORMWATER RUNOFF.
 - IF THE ESTABLISHMENT NO LONGER HAS A CURRENT SIDEWALK DINING LICENSE, THE CODES ENFORCEMENT DIVISION WILL CONTACT THE FORMER LICENSEE OR OWNER OF THE PREMISES TO REQUIRE REMOVAL OF THE RAILING OR OTHER AMENITIES (CHAIRS, TABLES, ETC.) REMAINING IN THE RIGHT-OF-WAY.
 - POSSESSION AND CONSUMPTION OF ALCOHOL IN THE SIDEWALK DINING/HOSPITALITY AREA IS LIMITED TO PATRONS SEATED AT TABLES.
 - AN EMPLOYEE OF THE LICENSEE IS WORKING IN THE SIDEWALK DINING/HOSPITALITY AREA, OR IS OTHERWISE ABLE TO MONITOR THE SIDEWALK HOSPITALITY AREA, TO PREVENT ALCOHOLIC BEVERAGES FROM LEAVING THE LICENSED PREMISES AND TO ENSURE COMPLIANCE WITH OTHER ALCOHOL RELATED PROVISIONS;
 - NO TAPS, KEGS, COOLERS, OR OTHER ALCOHOLIC BEVERAGE STORAGE DEVICES ARE USED IN THE SIDEWALK DINING AREA.

VARIANCES: THE BOARD OF ZONING APPEALS APPROVED THE FOLLOWING VARIANCES (B-12-00169) AT THEIR 10/05/2012 MEETING:

- REDUCED OFF-STREET PARKING REQUIREMENT FROM 90 SPACES TO THE EXISTING PARKING PROVIDED, APPROXIMATELY 16 SPACES. NO ADDITIONAL SPACES ARE REQUIRED FOR THE HOSPITALITY AREA.
- REDUCED 25 FT FRONT YARD SETBACK REQUIREMENT TO 0 FT

SUBJECT TO THE CONDITION THAT THE APPLICANT OBTAINS SITE PLAN APPROVAL FROM THE CITY, A SIDEWALK DINING AND HOSPITALITY LICENSE, AND A USE OF THE RIGHT-OF-WAY AGREEMENT. THE VARIANCES REMAIN VALID AS LONG AS A SIDEWALK DINING & HOSPITALITY LICENSE AND USE OF THE RIGHT-OF-WAY AGREEMENT ARE KEPT CURRENT BY THE BUSINESS PROPRIETOR.



PROPERTY SURFACE SUMMARY			
Existing Summary	Summary after project completion		
Total Buildings	2372 sq ft	Total Buildings	2372 sq ft.
Total Pavement	142 sq ft	Total Pavement	227 sq ft
Total Impervious	2514 sq ft	Total Impervious	2599 sq ft
Total Pervious	7330 sq ft	Total Pervious	7245 sq ft
Total Property Area	9844 sq ft	Total Property Area	9844 sq ft

20 ft alley