

PLANNING COMMISSION REPORT
Public Hearing Item

PC Staff Report
06/22/2015

ITEM NO. 6 FINAL DEVELOPMENT PLAN FOR BAUER FARM; XPRESS WELLNESS URGENT CARE; 4700 OVERLAND DR (MKM)

FDP-15-00108: Consider a Final Development Plan for Bauer Farm, Xpress Wellness Urgent Care Walk-In Clinic, located on approximately 1.4 acres, located at the northwest corner of 6th St. and Folks Rd. Submitted by Kerr 3 Design Group, Inc., for Free State Holdings, Inc., property owner of record.

STAFF RECOMMENDATION: Planning staff recommends approval of the Final Development Plan based upon the findings of fact presented in the body of the Staff Report subject to the following conditions:

1. The final plat for the subject property, Bauer Farm Addition No 7, shall be recorded with the Register of Deeds, prior to the recording or release of the Final Development Plan.
2. Submission of revised Final Development Plan with the following change:
 - a. Addition of the following note to the Bufferyard Landscape Summary: *"The landscaping provided for the Type 1 Bufferyard required on the north side of the property (adjacent to PRD Zoning) as shown on the plan has been approved through Alternative Compliance, taking into account the width of the Bauer Farm Drive Right-of-way and the parking area to the north."*

Reason for Request: The Final Development Plan serves as a site plan for the proposed development of the subject property with a *Health Care Clinic*.

Design Standards to Consider

- Consistency with approved Preliminary Development Plan, PDP-14-00055.
- Consistency with Article 10 of the 1966 Zoning Code and the standards contained in the 2006 Land Development Code.

KEY POINTS:

- Final Development Plans for projects with preliminary approvals prior to the adoption of the 2006 Development Code require Planning Commission approval.
- A revised Preliminary Development Plan for Bauer Farms [PDP-14-00055] was approved by the Planning Commission on April 21, 2014 and by the City Commission on May 6, 2014.
- The proposed development revises the location of the Common Open Space from that shown on the approved Preliminary Development Plan; therefore, a public hearing is required for the Final Development Plan.

ASSOCIATED CASES

- PF-15-00094, Bauer Farm Seventh Plat. This plat includes the subject property and is also on the June Planning Commission's agenda for consideration.
- PDP-14-00055; Revised Preliminary Development Plan for Bauer Farm Development, approved by City Commission on May 6, 2014.

OTHER ACTION REQUIRED

- City Commission acceptance of dedications shown on the Final Plat, submittal and approval of Public Improvement Plans and recording of the Final Plat at the Douglas County Register of Deeds Office.
- Applicant's submittal of a revised development plan addressing the conditions of approval for recording at the Douglas County Register of Deeds Office.
- Applicant shall apply for and obtain Building Permits prior to development.

PUBLIC COMMENT

- No public comment was received prior to the printing of this staff report.

PLANS AND STUDIES REQUIRED

- *Traffic Study* – a Revised Traffic Impact Study (TIS) was provided and accepted.
- *Downstream Sanitary Sewer Analysis* – A Downstream Sanitary Sewer Analysis was provided and accepted.
- *Drainage Study* – A revised drainage study revising the detention area was provided and accepted.
- *Retail Market Study* – Not applicable to application.

GENERAL INFORMATION

Current Zoning and Land Use: POD [Bauer Farm] (Planned Office Development) District; *Undeveloped*.

Surrounding Zoning: To the west and north: PRD [Bauer Farm] (Planned Residential Development) District. A *Multi-Dwelling* retirement facility is located to the north. *Multi-Dwelling* residential development is planned to the west, and the Final Development Plan is on the June Planning Commission's agenda.

(Figure 1) To the south: CO (Commercial Office) District; *Health Care Clinic/Office* across the W 6th Street right-of-way.

To the east: RSO (Single-Dwelling Residential-Office) District; *Health Care Office* and *Financial, Insurance or Real Estate Office* across the Folks Road right-of-way.



Figure 1a. Land use in the area

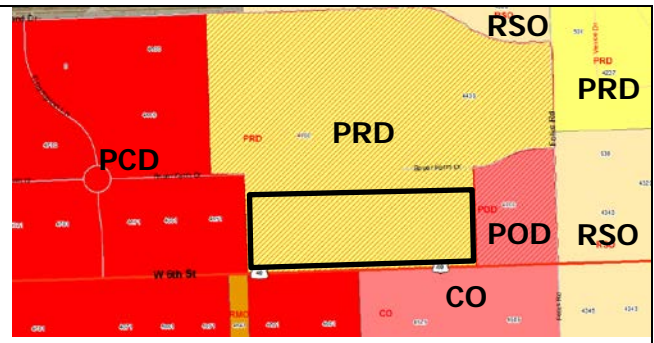


Figure 1b. Zoning in the area

Parking Summary	<i>Health Care Office/Clinic</i>
Parking Requirements	1 space per 300 sq ft
Required Parking	4,280 sq ft/300 sq ft: 15 spaces
Proposed Parking	30 spaces
ADA Parking Required	2 spaces, with one being van accessible
ADA Parking Provided	2 spaces, with one van accessible
Bicycle Parking Required	1 per 10 auto spaces= 4 spaces
Bicycle Parking Provided	4 spaces

The proposed parking exceeds the minimum requirement for a *Healthcare Office/Clinic* use. The Code requires that excess parking be mitigated with the use of Best Management Stormwater Practices. The additional green space (64% of the site rather than the 25% required for an Office District) provides adequate mitigation for the additional parking.

STAFF REVIEW

The Bauer Farm Development was proposed and planned as a New Urbanism type of development which would utilize several Traditional Neighborhood Design concepts. The waivers which were approved by the Planning Commission were necessary to accommodate these TND concepts such as smaller lots, narrower rights-of-way, and reduced peripheral setbacks. Several Development Plans have been approved for both the commercial and residential portions of the development. The Planning Commission approved revised waivers with their consideration of the 2014 revised Preliminary Development Plan, PDP-12-04-10, based on the type of development being proposed. The revised waivers are listed on the plan.

Variation from Approved Preliminary Development Plan [PDP-12-04-10]

The items on the Final Development Plan which vary from the approved Preliminary Development Plan include the following:

- 1) Change in use from a *Financial, Insurance, Real Estate Office use to a Health Care Clinic/Office use.*
- 2) Reduction of the overall building size from 5,000 sq ft to 4,280 sq ft.
- 3) Total off-street parking has been revised from '18 required and 42 provided' to '15 required and 30 provided'.
- 4) Removal of the drive-thru lane and slight reconfiguration of the building and parking area.
- 5) Reduction in the area of the stormwater detention pond.

The Planning Commission is responsible for the final decision-making of a Final Development Plan) of the pre-2006 Code. A public hearing is required due to the changes which are being proposed.

Access and Circulation

Vehicular access to this site is provided from Bauer Farm Drive and is consistent with that approved on the Preliminary Development Plan. Adequate bicycle parking is being provided and is being located near the main entrance.

Common Open Space

A minimum of 20% of the area in the Planned Development is required to be placed into Common Open Space. The most recently approved Preliminary Development Plan contained 3.08 acres of Common Open Space which meets the 20% requirement. The Common Open Space is shown on the residentially zoned portions of the property and none is located on the subject property. (Figure 2)

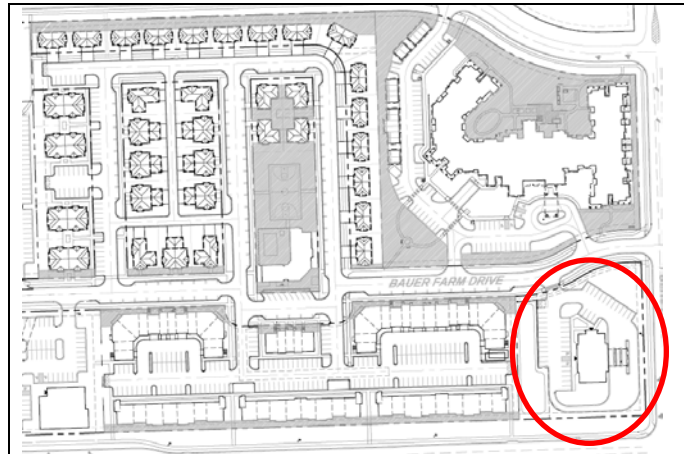


Figure 2. Common Open Space approved on PDP, shaded; subject property circled.

Pedestrian Connectivity

A pedestrian walkway connects the building with the sidewalks on Bauer Farm Drive and W 6th Street. The walkway provides access to all entrances into the building and to the mechanical equipment area on the north side of the building. (Figure 3)

Lighting

A photometric plan including a point by point illumination array was provided for the exterior lighting being proposed with this development. The lighting levels and fixture type are compliant with the standards in Section 20-1103(d)(3).

Landscaping

Parking lot landscaping and street trees are provided per Code. Peripheral boundaries are not required between PUDs in the same development; however the Land Development Code requires landscaped bufferyards between uses of different types (residential, office, commercial, etc). A Type 1 bufferyard is required along the west and north sides of development.

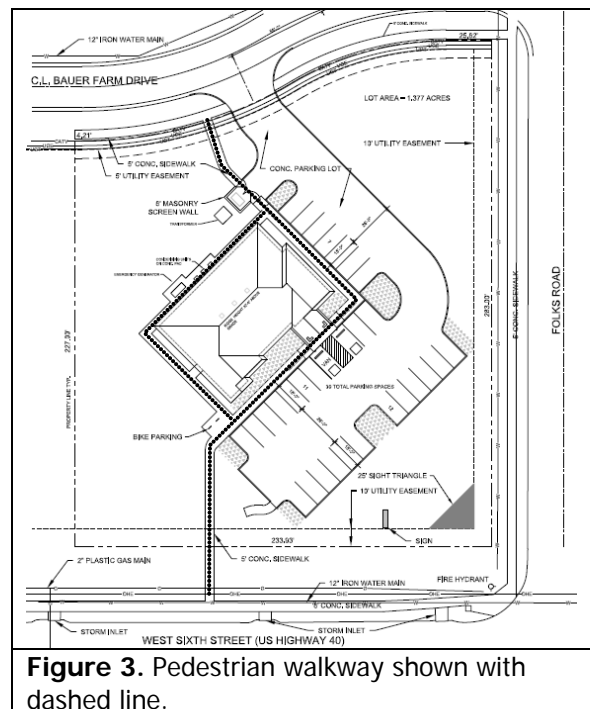


Figure 3. Pedestrian walkway shown with dashed line.

WEST:

The Type 1 bufferyard provided along the west property line exceeds the 25 ft width and is approximately 227 ft long. The bufferyard landscaping provided for the west bufferyard is compliant with the Code.

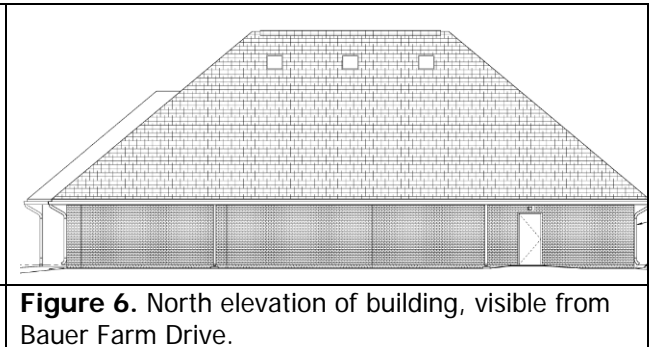
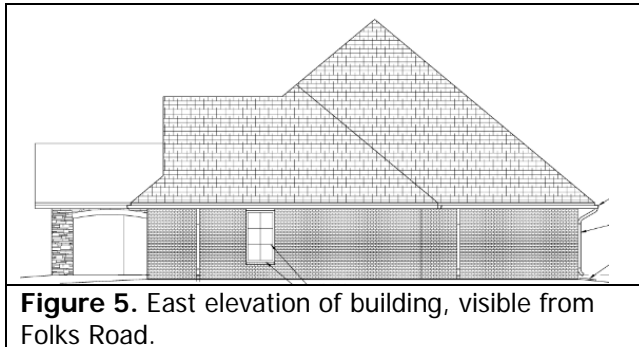
NORTH: This bufferyard is wider than 25 ft in width also. The north bufferyard is 214 ft long with approximately 27 ft of access drive for a length of approximately 187 ft. The bufferyard landscaping provided for the north bufferyard was approved through Alternative Compliance, taking into account the width of Bauer Farm Drive and the parking area to the north. This should be noted on the plan.

Other

Planned Developments provide the developer greater flexibility to achieve their desired design and development. They also allow for greater control over the aesthetics of a site. Figure 1

shows the southern elevation of the building which has a variation in material, building planes, and has several windows and the main entry.

The façade to the east and north will also be visible from the public right-of-way (Figures 5 and 6). The east and north building facades have less detail than the south elevation; however the landscaping proposed along these facades should provide variety.

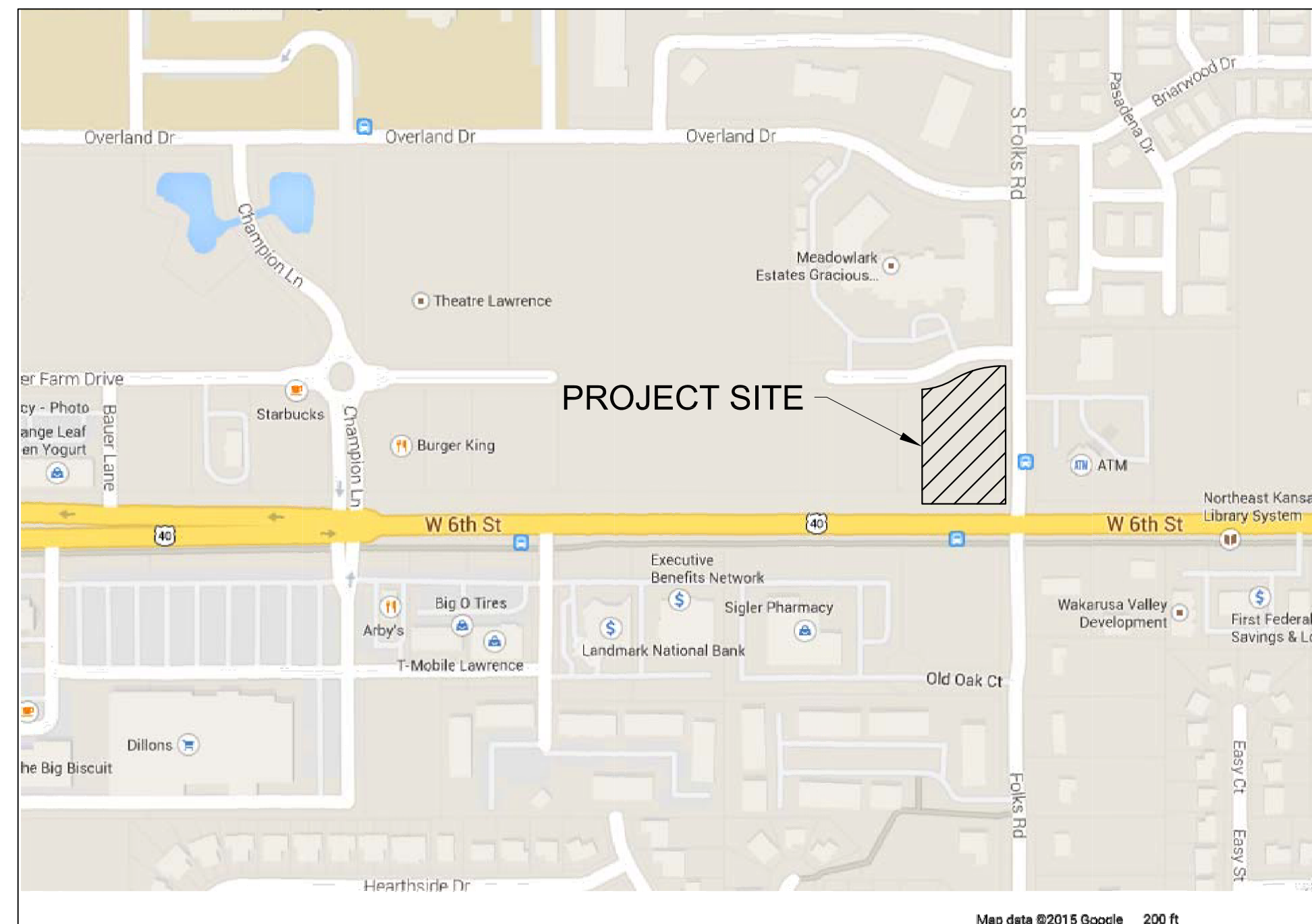


Conclusion

The development proposed with this Final Development Plan is generally consistent with the development that was approved with the Preliminary Development Plan and is compliant with the provisions of the Development Code.

XPRESS WELLNESS URGENT CARE WALK-IN CLINIC LAWRENCE, KANSAS

FINAL DEVELOPMENT PLAN



LOCATION MAP

SCALE: 1"=200'

LEGAL DESCRIPTION LOT 3 BLOCK 1 BAUER FARM SEVENTH PLAT

A TRACT OF LAND IN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 19 EAST OF THE SIXTH PRINCIPAL MERIDIAN IN THE CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID QUARTER SECTION; THENCE SOUTH 88°11'38" WEST ALONG SAID QUARTER SECTION LINE, 40.00 FEET; THENCE NORTH 01°47'22" WEST, 75.00 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE NORTH RIGHT-OF-WAY LINE OF WEST SIXTH STREET AND THE WEST RIGHT OF WAY LINE OF FOLKS ROAD; THENCE SOUTH 88°11'38" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, 233.93 FEET; THENCE NORTH 01°48'22" WEST, 227.00 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF BAUER FARM DRIVE; THENCE NORTH 88°11'38" EAST, ALONG SAID RIGHT OF WAY LINE, 4.14 FEET; THENCE ALONG A 230.00 FOOT RADIUS CURVE TO THE LEFT WITH A 121.69 FOOT CHORD BEARING NORTH 72°51'14" EAST, ALONG SAID RIGHT OF WAY LINE, AN ARC DISTANCE OF 123.16 FEET; THENCE ALONG A 170.00 FOOT RADIUS CURVE TO THE RIGHT WITH A 89.99 FOOT CHORD BEARING NORTH 72°51'44" EAST, ALONG SAID RIGHT OF WAY LINE, AN ARC DISTANCE OF 91.08 FEET; THENCE NORTH 88°12'38" EAST, ALONG SAID RIGHT OF WAY LINE, 25.73 FEET TO A POINT ON THE WEST RIGHT OF WAY OF FOLKS ROAD; THENCE SOUTH 01°47'22" EAST, ALONG SAID RIGHT OF WAY LINE 282.98 FEET TO THE POINT OF BEGINNING.

WAIVERS GRANTED

PLANNING COMMISSION GRANTED FOLLOWING WAIVERS & MODIFIED SUBDIVISION DESIGN STANDARDS APRIL 21, 2014

1. LOT SIZE: REDUCTION IN LOT SIZE TO PERMIT LOTS WITH LESS THAN 4,000 SQUARE FEET OF AREA
 - 1.1. PERIPHERY BOUNDARY: REDUCTION IN PERIPHERY BOUNDARY TO REDUCE THE 20 FEET OF COMMERCIAL PERIPHERAL TO 10 FEET ALONG WEST 6TH STREET, 17 FEET ALONG WAKARUSA DRIVE AND 10 FEET ON OVERLAND DRIVE AND FOLKS ROAD. 35FOOT RESIDENTIAL PERIPHERY BOUNDARY REDUCED TO 10 FOOT SETBACK ON OVERLAND DRIVE AND FOLKS ROAD AND 16 FOOT SETBACK ON WEST 6TH STREET. NO PERIPHERY BOUNDARY IS REQUIRED BETWEEN THE PUD AREAS WITHIN BAUER FARM.
2. COMMERCIAL SETBACKS: COMMERCIAL BUILDING SETBACK AS CLOSE AS 10 FEET ON WEST 6TH STREET, 17 FEET ON WAKARUSA DRIVE AND 10 FEET ON CHAMPION LANE

MODIFIED SUBDIVISION DESIGN STANDARD GRANTED:

SUBDIVISION DESIGN STANDARD 1. OFFSET STREETS
LOCAL STREETS INTERSECTING OPPOSITE SIDES LESS THAN 125 FEET

SUBDIVISION DESIGN STANDARD 2. ALLEYS PERMITTED WITHIN THE RESIDENTIAL AREAS OF THE SUBDIVISION

SUBDIVISION DESIGN STANDARD 3. LOCAL PRIVATE STREET WIDTHS OF 20 FEET BACK OF CURB TO BACK OF CURB

SHEET INDEX

GENERAL

G1.1 COVER SHEET

CIVIL

C-02 DIMENSION CONTROL PLAN
C-03 GRADING PLAN
C-05 UTILITY EXTENSION PLAN

LANDSCAPE

L1.0 LANDSCAPE PLAN

ARCHITECTURAL

A2.0 ARCHITECTURAL SITE PLAN
A3.1 BUILDING ELEVATIONS - WEST & SOUTH
A3.2 BUILDING ELEVATIONS - EAST & NORTH

ELECTRICAL

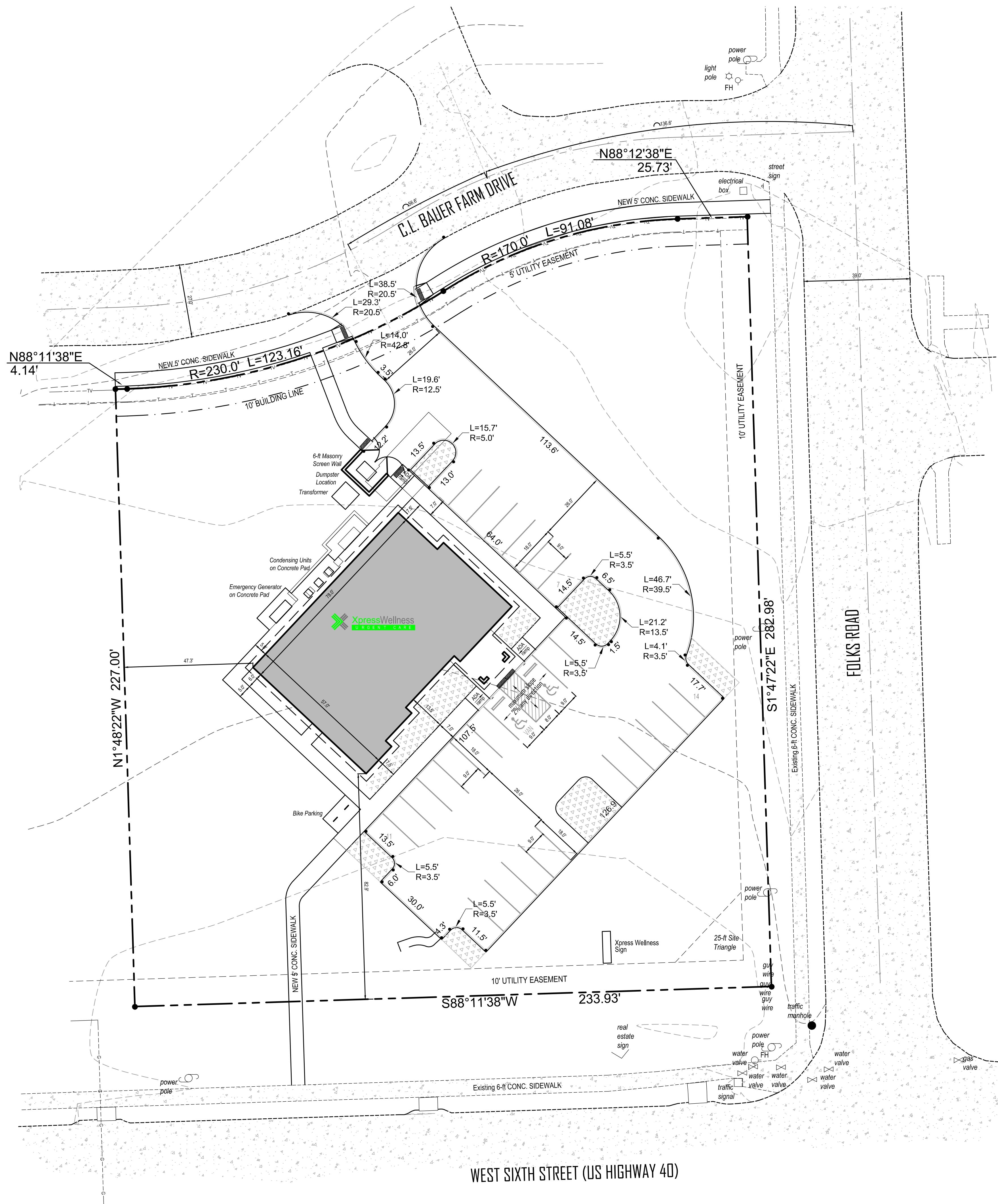
E1.1 SITE PLAN - ELECTRICAL

PARKING SUMMARY		
	REQUIRED	PROVIDED
HEALTH CARE CLINIC	1 SPACE PER 300 GSF	
BLDG. AREA = 4,280 SF	15	30
ADA PARKING SPACES	1 AUTO, 1 VAN ACC.	1 AUTO, 1 VAN ACC.
BICYCLE PARKING	1 PER 10 AUTO SPACES	4
TOTAL PROPERTY AREA	59,988 SF	59,988 SF

ZONING:

POD (PLANNED OFFICE DISTRICT) WITH THE FOLLOWING CONDITION: USES PERMITTED IN THIS ZONING DISTRICT SHALL BE LIMITED TO THOSE USES THAT WERE PERMITTED IN THE PLANNED OFFICE DEVELOPMENT (POD-1) DISTRICT AS DEFINED AT CITY OF LAWRENCE, KS CODE 20-1004(d)(1)(DEC. 31, 2003) AS AMENDED.

XPRESS WELLNESS URGENT CARE
 WALK-IN CLINIC
 NW CORNER OF SIXTH & FOLKS ROAD
 LAWRENCE, KANSAS



GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF LAWTON STANDARD CONSTRUCTION SPECIFICATIONS.
- ALL FLOWLINES THAT ARE TO BE FILLED SHALL BE THOROUGHLY TAMPED BEFORE CONSTRUCTION OR EXTENSION OF DRAINAGE STRUCTURES. ALL COST TO BE INCLUDED IN OTHER ITEMS.
- IN ORDER TO ALLEVIATE DUST CONDITIONS DURING GRADING OPERATIONS AND BEFORE PAVEMENT WORK IS COMPLETED, THE CONTRACTOR SHALL SPRINKLE GRADING ONE TIME PER DAY MINIMUM. COST OF SPRINKLING TO BE INCLUDED IN PRICE BID FOR OTHER ITEMS OF WORK.
- ANY DAMAGE CAUSED BY THE CONTRACTOR TO ANY STRUCTURES, ROADWAY SURFACES, STRIPING, RAISED PAVEMENT MARKERS, GUARDRAIL, FENCE, SLOPES, AND SIGNS SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
- THE CONTRACTOR SHALL MAINTAIN AN AS-BUILT MARK UP SET OF PLANS, WHICH SHALL BE TURNED IN TO THE ENGINEER AT THE END OF CONSTRUCTION. THIS ITEM INCLUDES ALL CRITICAL SURVEY INFORMATION SUCH AS FLOWLINES AND ANY APPROVED MODIFICATIONS TO THE PLANS.
- THE PURPOSE OF THESE PLANS IS TO SHOW THE INTENT OF CONSTRUCTION. ALL INCIDENTALS REQUIRED, BUT NOT SHOWN, ARE TO BE INCLUDED IN THE TOTAL BASE BID PRICE.
- THE CONTRACTOR SHALL SUBMIT A REASONABLE CONSTRUCTION SCHEDULE ADDRESSING ALL POINTS OF CONSTRUCTION TO THE CITY PRIOR TO BEGINNING ANY WORK.
- A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN AND THE STORMWATER DISCHARGE PERMIT MUST BE ON SITE AT ALL TIMES. THESE DOCUMENTS WILL BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND EFFECTIVENESS OF THE EROSION CONTROL MEASURES ON THE PROJECT SITE. THE STORM WATER POLLUTION PREVENTION PLAN INCLUDED IN THE CONSTRUCTION DOCUMENTS IS TO SERVE AS A GUIDE FOR THESE MEASURES. ADDITIONAL MEASURES, OR MODIFICATION OF THE INDICATED MEASURES, MAY BE REQUIRED AS SITE CONDITIONS REQUIRE.
- THE CONTRACTOR SHALL MAINTAIN, AT ALL TIMES, SAFETY AND EMERGENCY VEHICLE ACCESS TO AND FROM ALL AREAS WITHIN THE CONSTRUCTION AREA OR AREAS BEING USED BY THE CONTRACTOR THROUGHOUT THE LENGTH OF THE CONTRACT.
- THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF PROPERTY DIRECTLY ADJACENT TO THE PROJECT SITE A MINIMUM OF TEN (10) DAYS NOTICE PRIOR TO THE START OF WORK.
- SURPLUS MATERIALS AND DEMOLITION ITEMS, UNLESS SPECIFICALLY NOTED BY THE OWNER, ARE THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN A LEGAL MANNER. LANDFILL FEES WILL NOT BE WAIVED.
- GRASSED AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE SEEDED OR SODDED AS INDICATED ON THE PLANS.
 - SPRING PLANTING: MARCH 1 - JUNE 15
 - FULL SUN: BERMUDA GRASS (CYNODON DACTYLON)
 - SUN AND PARTIAL SHADE: PROPORTIONED BY WEIGHT AS FOLLOWS:
 - 50 PERCENT BERMUDA GRASS (CYNODON DACTYLON)
 - 30 PERCENT CHEWINGS RED FESCUE (FESTUCA RUBRA VARIETY)
 - 10 PERCENT PERENNIAL RYEGRASS (LOLIUM PERENNE)
 - 10 PERCENT REDTOP (AGROSTIS ALBA)
 - SEEDING AND SODDING SHALL INCLUDE FERTILIZING AND WATERING PROVISIONS.
- SOLID SLAB SOD SHALL BE USED AT THE ENGINEER'S DISCRETION IN AREAS OF EXCESSIVE EROSION OR SILTATION.
- HORIZONTAL AND VERTICAL CONTROL POINTS SHALL HAVE BEEN PROVIDED BY THE ENGINEER ON THE DRAWINGS. THE CONTRACTOR SHALL HIRE A SURVEYOR LICENSED IN THE STATE OF KANSAS TO ESTABLISH ADDITIONAL CONTROL POINTS AND TO PROVIDE AND MAINTAIN THE CONSTRUCTION STAKING.
- ALL EXPOSED CONCRETE EDGES SHALL HAVE A 3/4" CHAMFER AND ALL EXPOSED CONCRETE SURFACES SHALL HAVE A BROOM FINISH.
- ALL CONCRETE USED IN THIS PROJECT SHALL BE 3500 PSI AND CONTAIN ONE POUND OF FIBER REINFORCEMENT PER CUBIC YARD.
- THE CONTRACTOR SHALL MAKE APPLICATION WITH THE CITY OF LAWRENCE FOR WATER USE. A METER WILL BE INSTALLED BY THE CITY OF LAWRENCE ON THE NEAREST FIRE HYDRANT. THE COST OF WATER WILL BE \$100.00 MINIMUM PER MONTH, OR AT THE CURRENT RATE. THE CONTRACTOR SHALL PROVIDE A BACKFLOW PREVENTER AND A FREEZE BOX DURING APPROPRIATE WEATHER.
- EVERY EFFORT HAS BEEN MADE TO LOCATE AND SIZE ALL UNDERGROUND UTILITIES FROM AVAILABLE CITY DOCUMENTS, ON-SITE SURVEYS, RECORD DRAWINGS AND UTILITY COMPANY REFERENCE MATERIAL. CONTRACTOR SHALL EXERCISE EXTREME CARE AND CAUTION IN THE EXECUTION OF HIS WORK AND SHALL ANTICIPATE THAT UTILITIES, PIPELINES AND OTHER DANGEROUS UNDERGROUND & OVERHEAD OBSTRUCTIONS EXIST AND ARE NOT SHOWN ON THE PLAN SHEETS. WHEN LINES OR OTHER OBSTRUCTIONS ARE LOCATED DURING CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE LINES AND IMMEDIATELY NOTIFY THE OWNER, UTILITY COMPANY AND ENGINEER.
- UTILITY RELOCATION AND EXTENSION WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY REQUIREMENTS AND SHALL BE SCHEDULED IN A MANNER RESULTING IN MINIMUM SERVICE INTERRUPTION. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION OPERATIONS WITH ALL UTILITY COMPANIES FOR THE RELOCATION OF THEIR LINES PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY, THE OWNER, AND THE ARCHITECT/ENGINEER IN WRITING A MINIMUM OF 72 HOURS BEFORE ANY SERVICE INTERRUPTION.
- THE COST OF MOVING, RAISING, OR RELOCATING EXISTING METERS, REGULATORS, VALVES, POLES, OR OTHER PUBLIC UTILITY SHALL BE INCLUDED IN THE BASE BID PRICE. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY. ALL PRESSURE LINES WHICH CONFLICT WITH GRAVITY LINES SHALL BE RELOCATED.

FINAL DEVELOPMENT PLAN

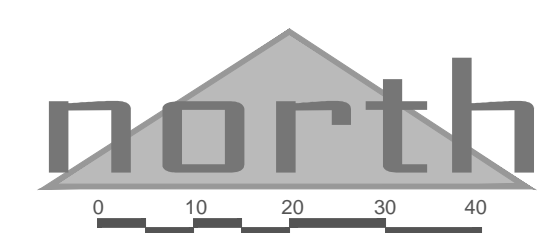
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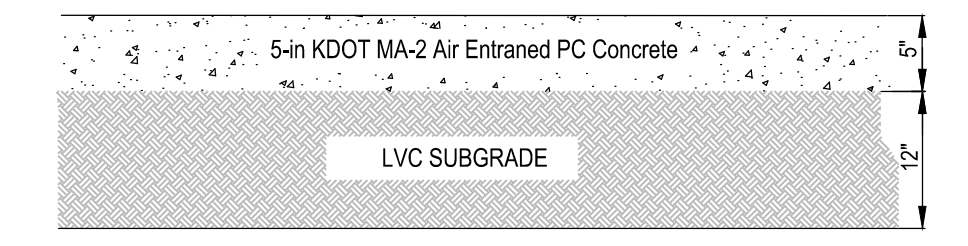
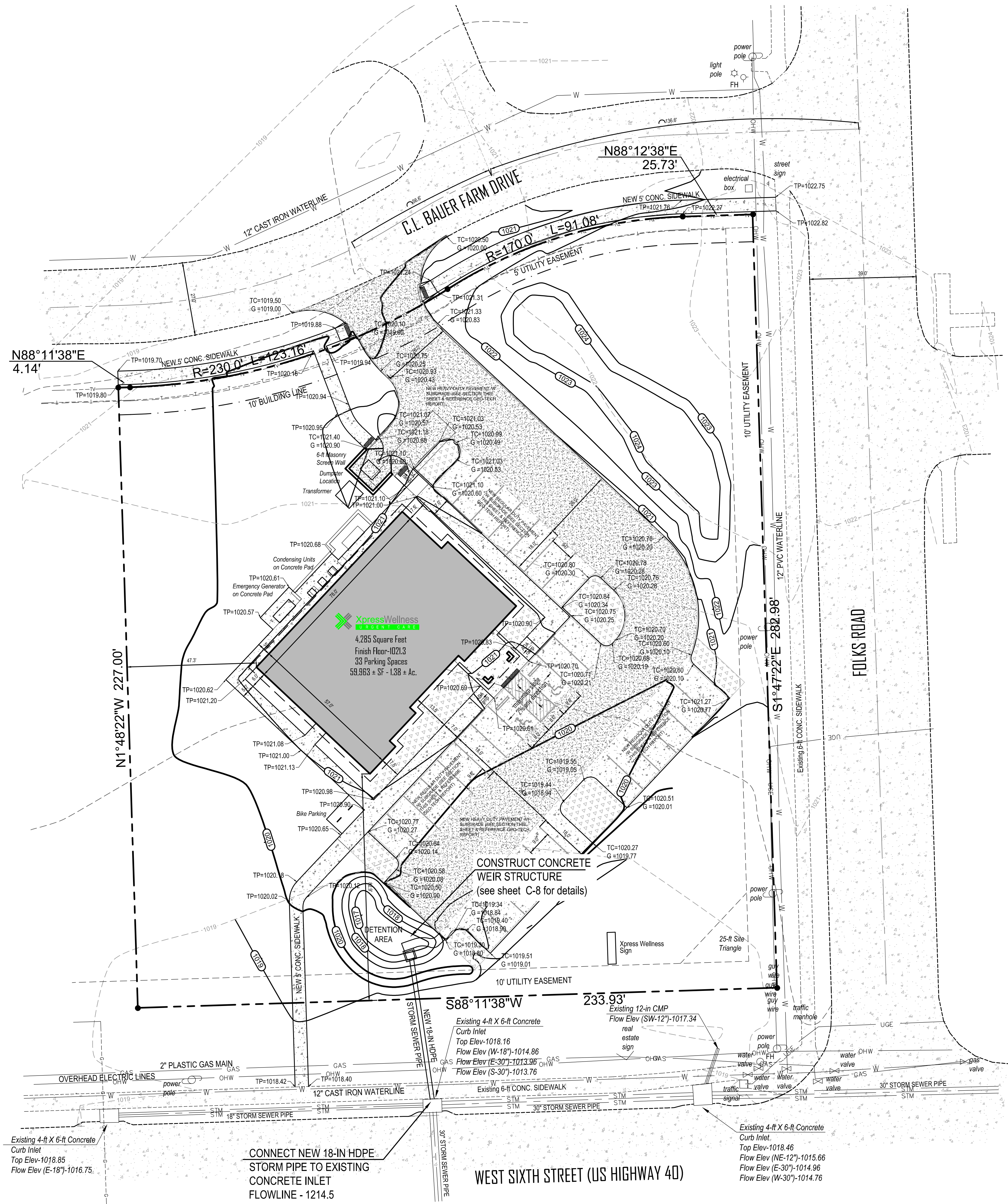
**XPRESS WELLNESS URGENT CARE
 WALK-IN CLINIC
 NW CORNER OF SIXTH & FOLKS ROAD
 LAWRENCE, KANSAS**

DIMENSION CONTROL PLAN

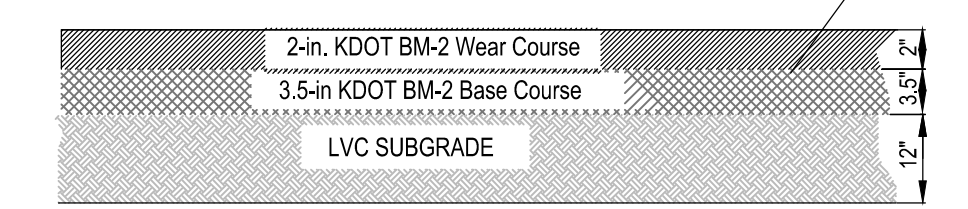
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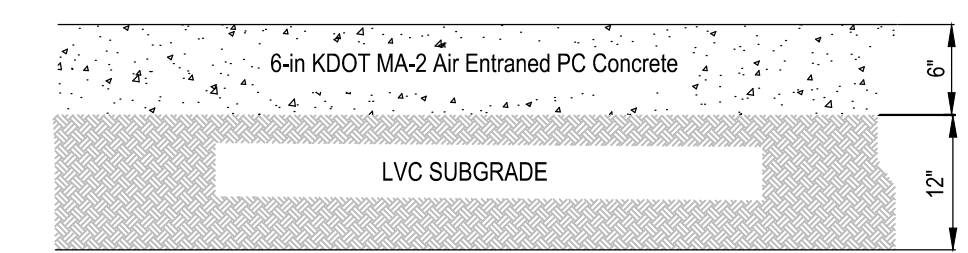
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 Phone (580) 234-8780, Fax (580) 237-4302
 C.A. #1960 - Expiration Date: 6-30-2016
 www.envirotechconsulting.com



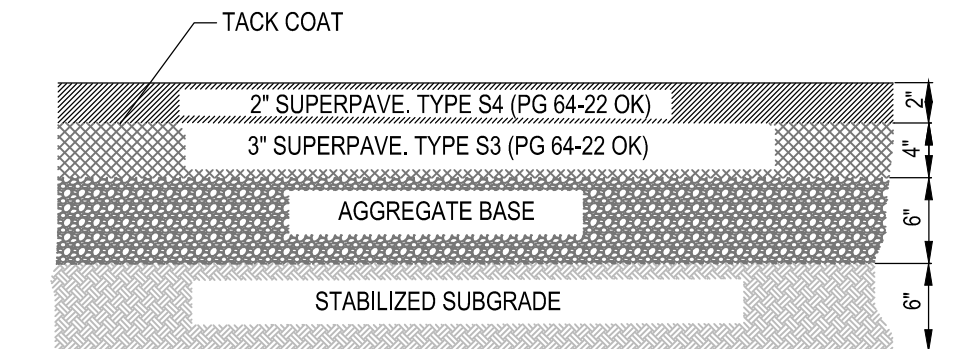
REGULAR DUTY PARKING AND DRIVES
PORTLAND CEMENT CONCRETE
(3,500 PSI, AIR ENTRAINED)



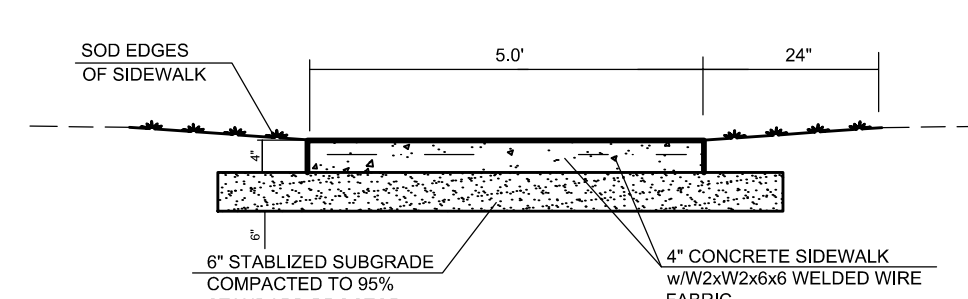
REGULAR DUTY PARKING AND DRIVES
FULL DEPTH ASPHALTIC CONCRETE



HEAVY DUTY PARKING AND DRIVES
PORTLAND CEMENT CONCRETE
(3,500 PSI, AIR ENTRAINED)



HEAVY PARKING AND DRIVES
FULL DEPTH ASPHALTIC CONCRETE



5-Ft SIDEWALK TYPICAL SECTION
NOT TO SCALE

Note:
The detention basin will be privately-owned. The property owner is responsible for the maintenance of the detention basin. The property owner is responsible for establishing ownership and maintenance of same via individual owner maintenance. Failure to maintain the detention basin will result in the loss of the stormwater detention credit. The detention basin will remain free of any natural or non-natural structures or vegetative barriers (including but not limited to trees, shrubbery, berms, fences, and walls).

FINAL DEVELOPMENT PLAN

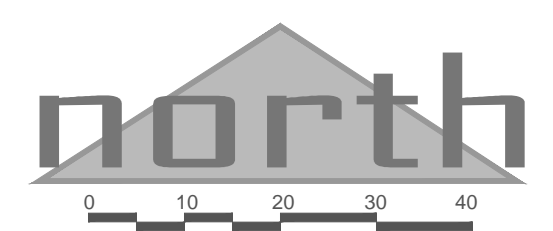
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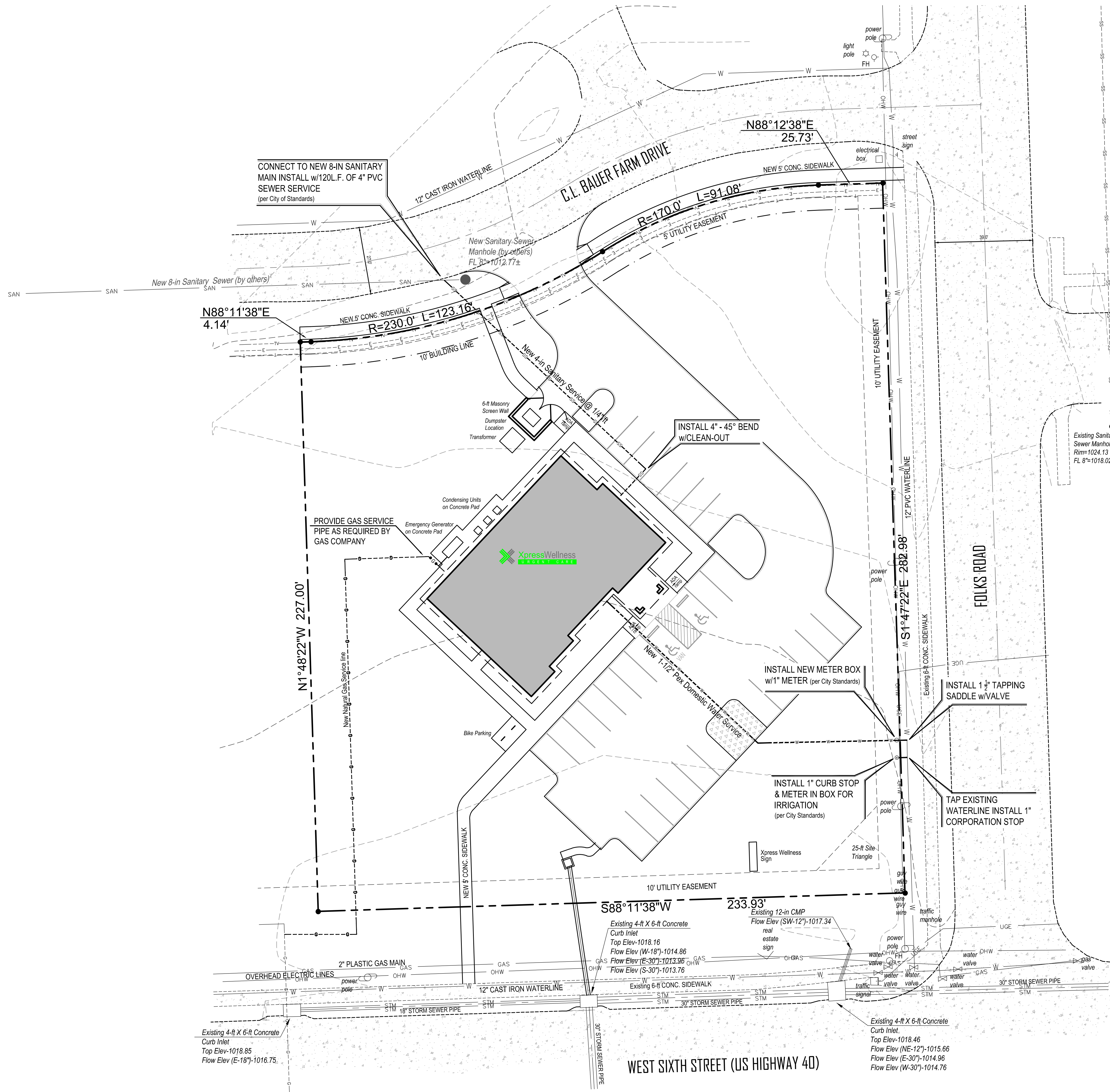
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WALK-IN CLINIC
NW CORNER OF SIXTH & FOLKS ROAD
LAWRENCE, KANSAS

GRADING PLAN

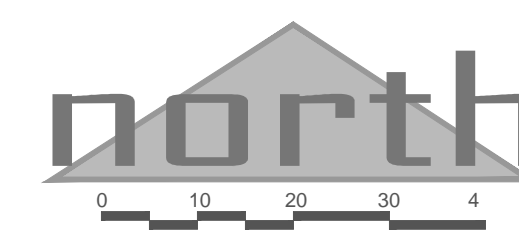
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C-03



2500 North 11th Street - Enid, Oklahoma 73701
Phone (580) 234-8780, Fax (580) 237-4302
C.A. #1950 - Expiration Date: 6-30-2016
www.envirotechconsulting.com



Note:
At the time of construction existing utilities along 6th Street will be exposed and any adjustments to grade will be made in the field to accommodate the gravity flow of the drainage basin. If that is found to be impossible, the contractor will coordinate with the utility company to have the lines raised or lowered as needed.



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FINAL DEVELOPMENT
PLAN

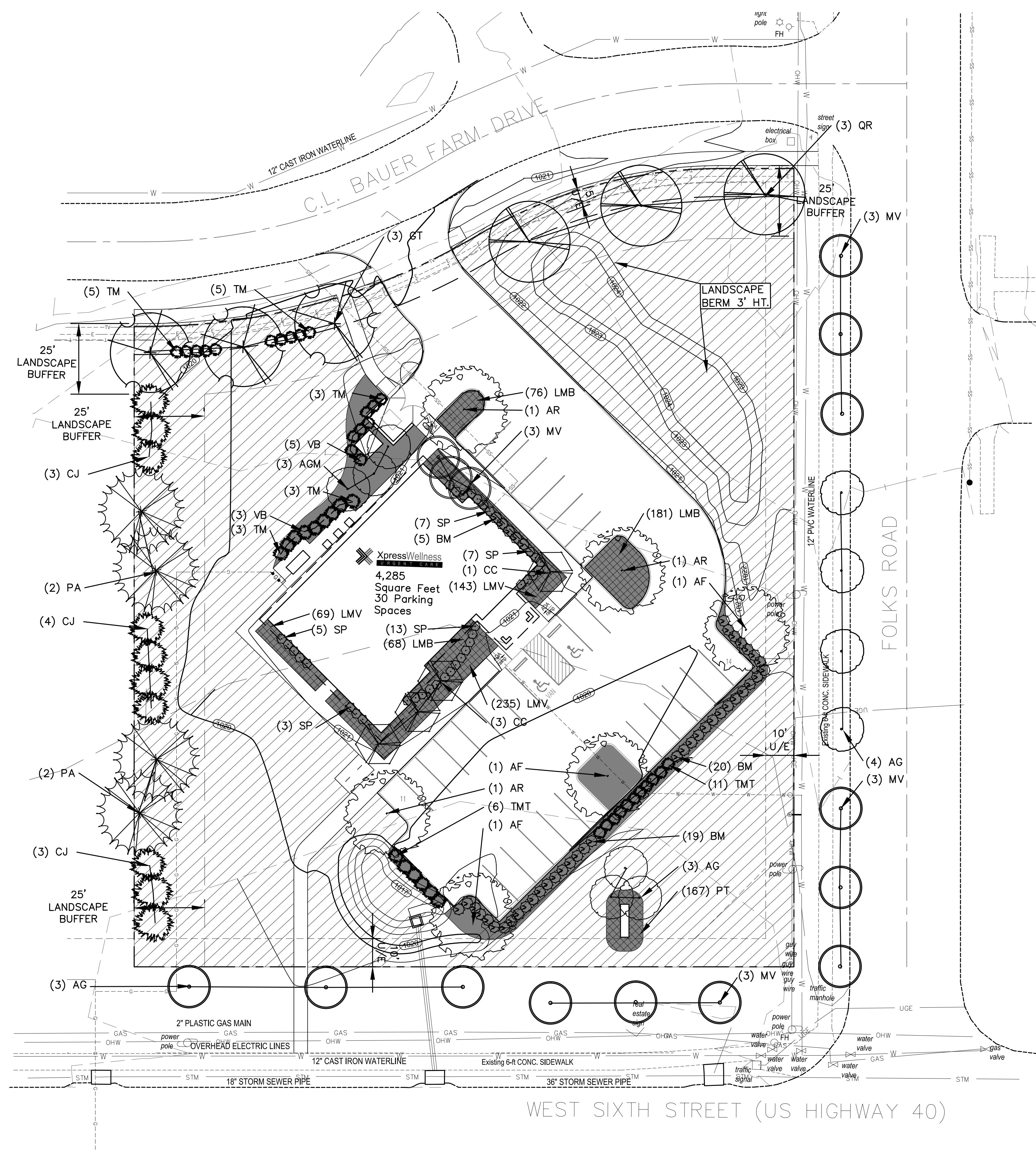
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**XPRESS WELLNESS URGENT CARE
WALK-IN CLINIC**
NW CORNER OF SIXTH & FOLKS ROAD
LAWRENCE, KANSAS

UTILITY EXTENSION
PLAN

6-10-15
SHEET
C-05



PLANT SCHEDULE

SYMBOL	KEY	QTY.	NAME	SIZE	COND.
		12	SHADE TREE		
	QR	3	NORTHERN RED OAK - QUERCUS RUBRA		
	AR	3	PACIFIC SUNSET MAPLE - ACER RUBRUM 'PACIFIC SUNSET'	2" CAL. MIN.	B&B
	AF	3	CELEBRATION MAPLE - ACER X FREEMANII 'CELZAM'		
	GT	3	SKYLINE THORNLESS LOCUST - GLEDITSIA TRICANTHOS 'SKYLINE'		
		14	EVERGREEN TREE		
	PA	4	NORWAY SPRUCE - PICEA ABIES	7'-8' HT. MIN.	B&B
	CJ	10	CHINESE JUNIPER KETELEERI - JUNIPERUS CHINENSIS 'KETELEERI'		
		26	ORNAMENTAL TREE		
	AG	7	AUTUMN BRILLIANCE SERVICEBERRY (SINGLE STEM) - AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL. MIN.	B&B
	AGM	3	AUTUMN BRILLIANCE SERVICEBERRY (MULTIPLE STEM) - AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'		
	MV	12	VELVET PILLAR CRABAPPLE - MALUS 'VELVETCOTE'		
	CC	4	ROYAL PURPLE SMOKE TREE - COTINUS COGGYRIA		
		127	DECIDUOUS/EVERGREEN SHRUBS/ORNAMENTAL GRASSES/PERENNIALS		
	SP	39	GOLDMOUND SPIREA - SPIRAEA JAPONICA 'GOLDMOUND'	2 GAL.	CONT.
	BM	44	WINTERGREEN BOXWOOD - BUXUS MICROPHLYA 'WINTERGREEN'		
	TMT	17	TAUNTON YEW - TAXUS X MEDIA 'TAUNTONII'		
	TM	19	HICKS YEW - TAXUS X MEDIA 'HICKSI'		
	VB	8	BURKWOOD VIBURNUM - VIBURNUM X BURKWOODII		
	LMV	447	VARIEGATED LILYTURF - LIRIOPE MUSCARI 'VARIEGATA' (18" O.C.)	8"	POT
	LMB	325	BIG BLUE LILYTURF - LIRIOPE MUSCARI 'BIG BLUE' (18" O.C.)		
	N/A	3,935 S.F.	DAKOTA BLACK MULCH (3" LAYER MIN.)		
	N/A	34,715 S.F.	TURF TYPE FESCUE (SEED)	SEED	N/A

STREET TREE LANDSCAPE SUMMARY

STREET TREES REQUIRED: 1 TREE PER 40 L.F.

STREET	FRONTAGE	TREES	SHRUBS
6TH STREET	234 L.F./40 =	6 TREES	6 TREES
FOLKS ROAD	283 L.F./40 =	7 TREES	10 TREES
BAUER FARM DRIVE	245 L.F./40 =	6 TREES	6 TREES
TOTAL		19 TREES	22 TREES

INTERIOR PARKING LANDSCAPE SUMMARY

LANDSCAPE AREA REQUIRED: # OF STALLS x 60 S.F.

REQUIRED	PROVIDED
30 STALLS x 40 S.F. = 1,200 S.F.	1,287 S.F.

TREES & SHRUBS REQUIRED: 1 TREE & 3 SHRUBS / 10 STALLS

REQUIRED	PROVIDED
30 STALLS = 3 TREES, & 9 SHRUBS	6 TREES, & 12 SHRUBS

BUFFER YARD LANDSCAPE SUMMARY

TYPE 1 BUFFER YARD REQUIRED: REQUIRED ON WEST SIDE (ADJACENT TO PRD ZONING)
 THE AMOUNT OF PLANT MATERIAL REQUIRED WITHIN BUFFER YARD IS DEPENDANT ON THE WIDTH OF THE BUFFER YARD THAT IS PROVIDED.

REQUIRED	PROVIDED
25' BUFFER WIDTH = 4 TREES, & 10 SHRUBS (50% OF REQUIRED TREES AND SHRUBS TO BE EVERGREEN)	4 TREES, & 10 SHRUBS (100% EVERGREEN)

TYPE 1 BUFFER YARD REQUIRED: REQUIRED ON NORTH SIDE (ADJACENT TO PRD ZONING)
 THE AMOUNT OF PLANT MATERIAL REQUIRED WITHIN BUFFER YARD IS DEPENDANT ON THE WIDTH OF THE BUFFER YARD THAT IS PROVIDED.

REQUIRED	PROVIDED
25' BUFFER WIDTH = 4 TREES, & 10 SHRUBS (50% OF REQUIRED TREES AND SHRUBS TO BE EVERGREEN)	4 TREES, & 10 SHRUBS (50% EVERGREEN)

**XPRESS WELLNESS URGENT CARE
 WALK-IN CLINIC**
 NW CORNER OF SIXTH & FOLKS ROAD
 LAWRENCE, KANSAS

FINAL DEVELOPMENT PLAN
 kerr 3 design group, inc.
 607 S. Coltrane Rd., Suite G
 Edmond, OK 73034
 tel: 405/341-6546
 fax: 405/341-6702
 www.kerr3.com
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SCALE: 1" = 20'

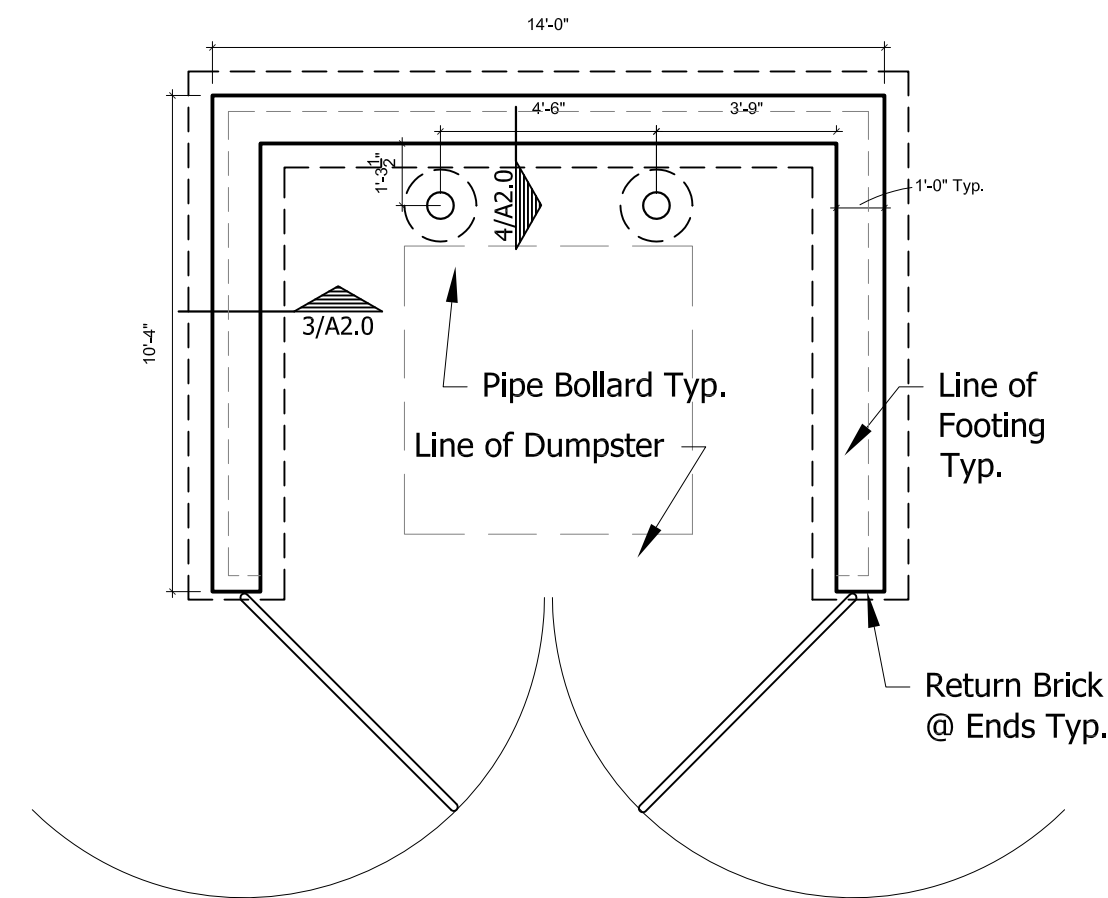


TREANOR ARCHITECTS

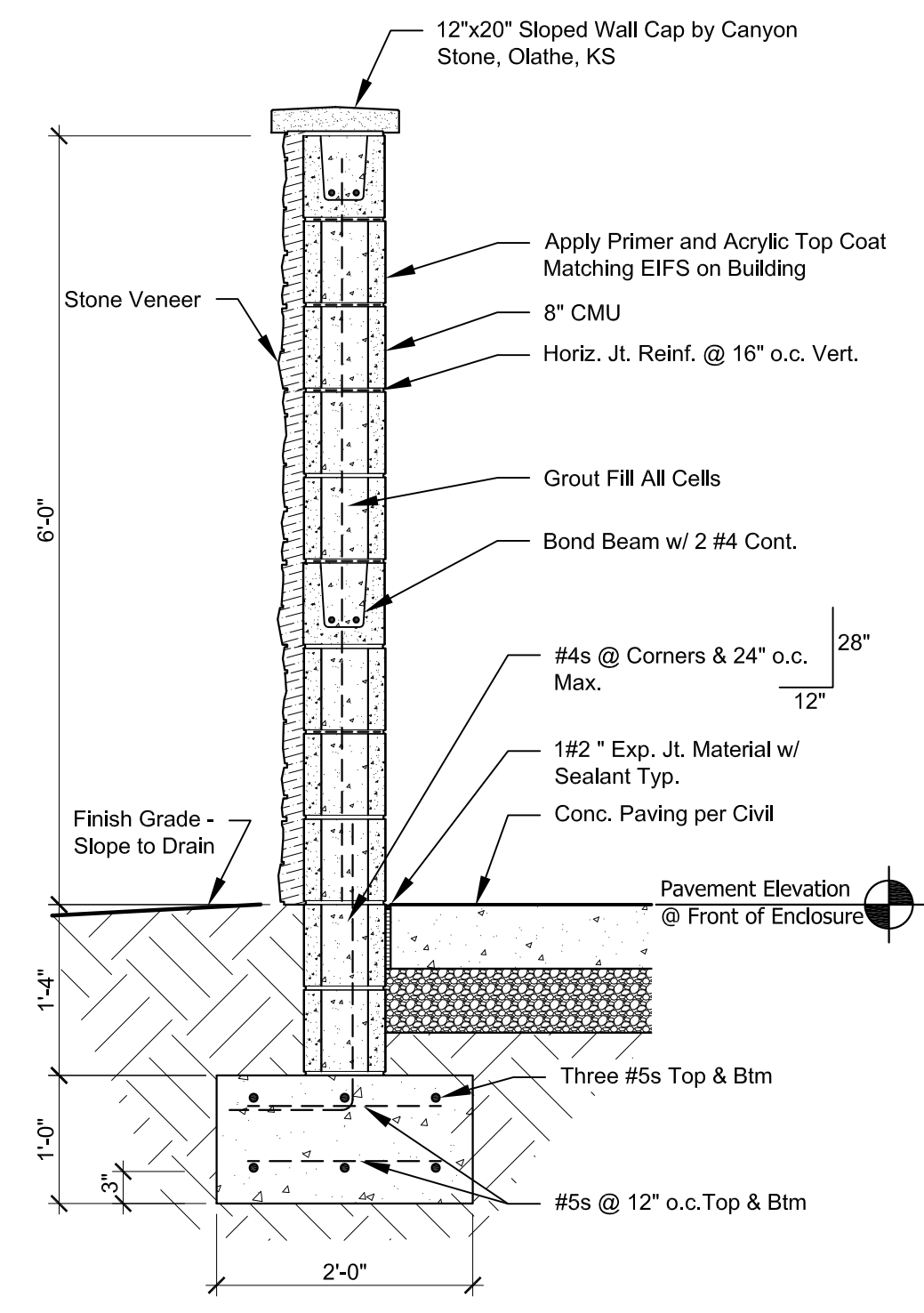
1040 Vermont Street
 Lawrence, Kansas 66044-2920
 Office: 785.842.4858
 Fax: 785.842.7536
 www.treanorarchitects.com

LANDSCAPE PLAN
 6-10-15
 SHEET
L1.0

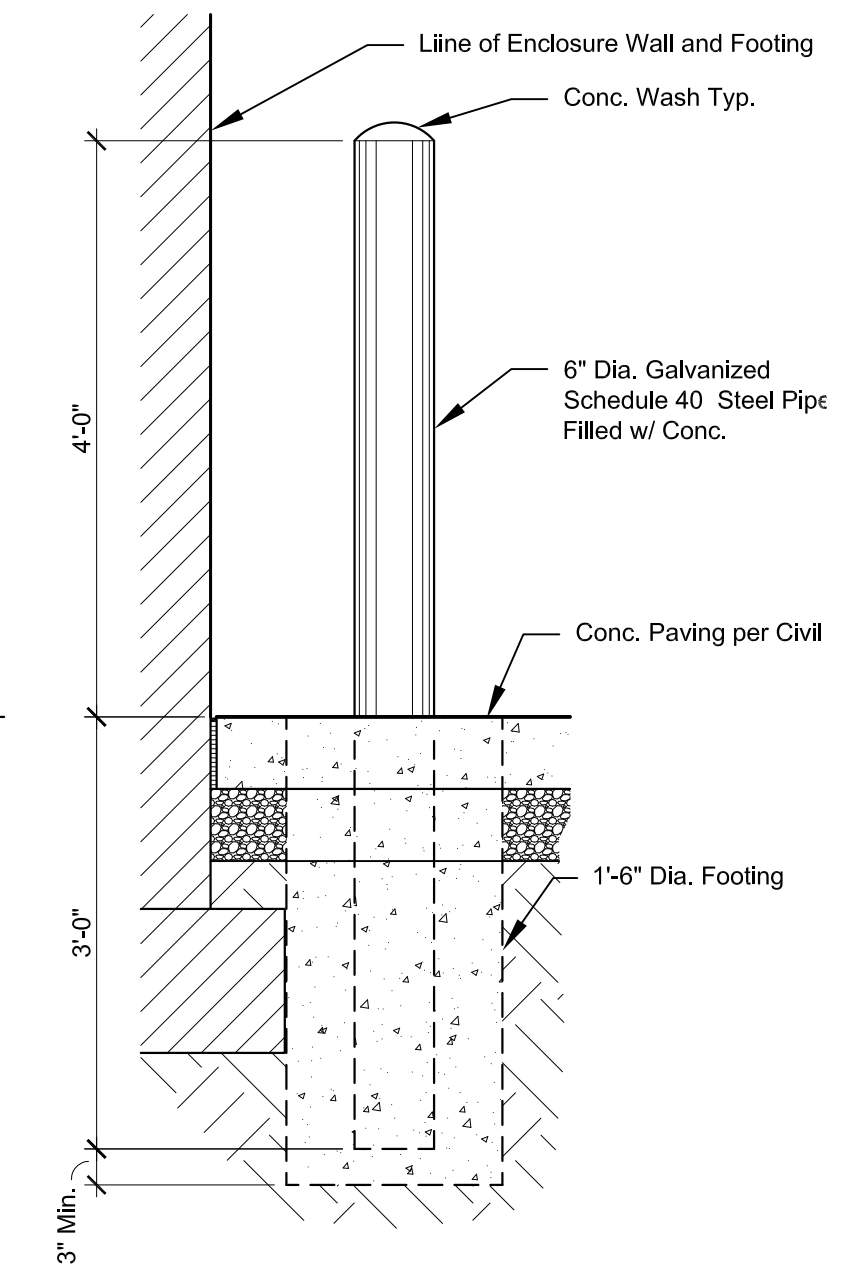
PROPERTY SURFACE SUMMARY		
	EXISTING	AFTER PROJECT COMPLETION
TOTAL BUILDINGS	0	1
BUILDING AREA	0	4,280 SF
TOTAL PAVEMENT	0	17,240 SF
TOTAL IMPERVIOUS	0	21,520 SF
TOTAL PERVIOUS	59,988 SF	38,468 SF
TOTAL PROPERTY AREA	59,988 SF	59,988 SF



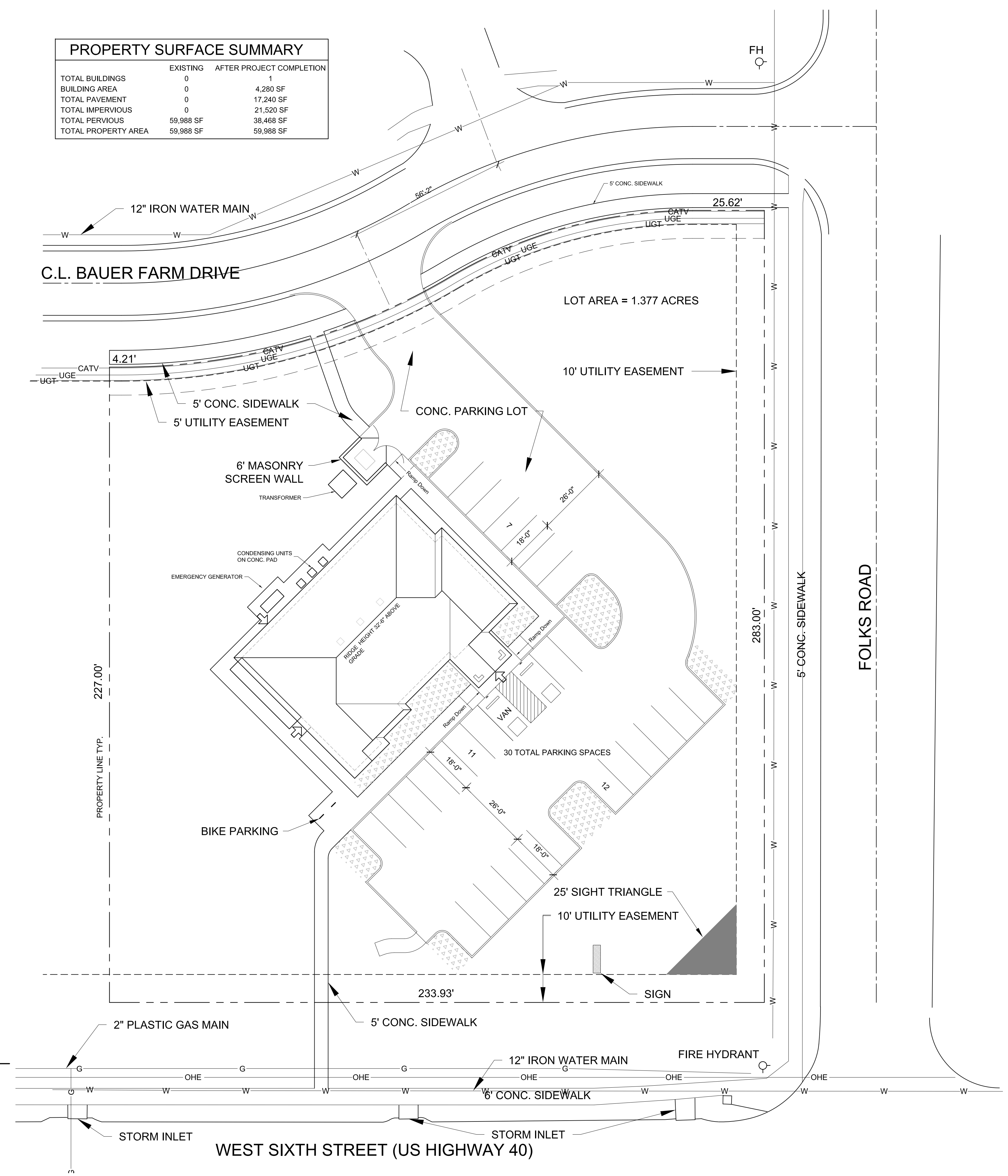
2 PLAN @ DUMPSTER ENCLOSURE
SCALE: 1/4"=1'-0"



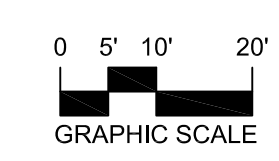
3 SECTION @ DUMPSTER ENCLOSURE
SCALE: 3/4"=1'-0"



4 SECTION @ BOLLARD
SCALE: 3/4"=1'-0"



1 SITE PLAN
SCALE: 1"=20'-0"



FINAL DEVELOPMENT PLAN

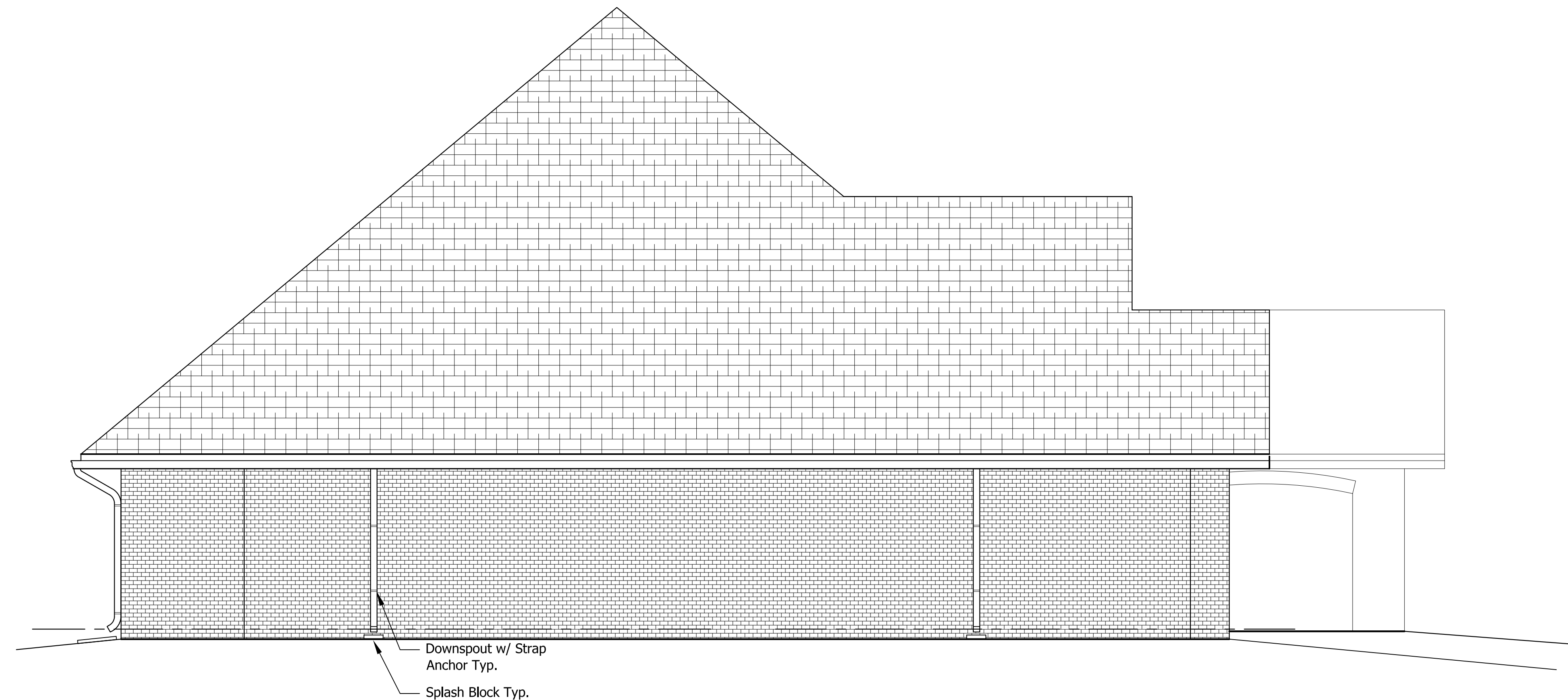
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XPRESS WELLNESS URGENT CARE
WALK-IN CLINIC
NW CORNER OF SIXTH & FOLKS ROAD
LAWRENCE, KANSAS

ARCHITECTURAL
SITE PLAN & DETAILS

6-10-15
SHEET
A2.0



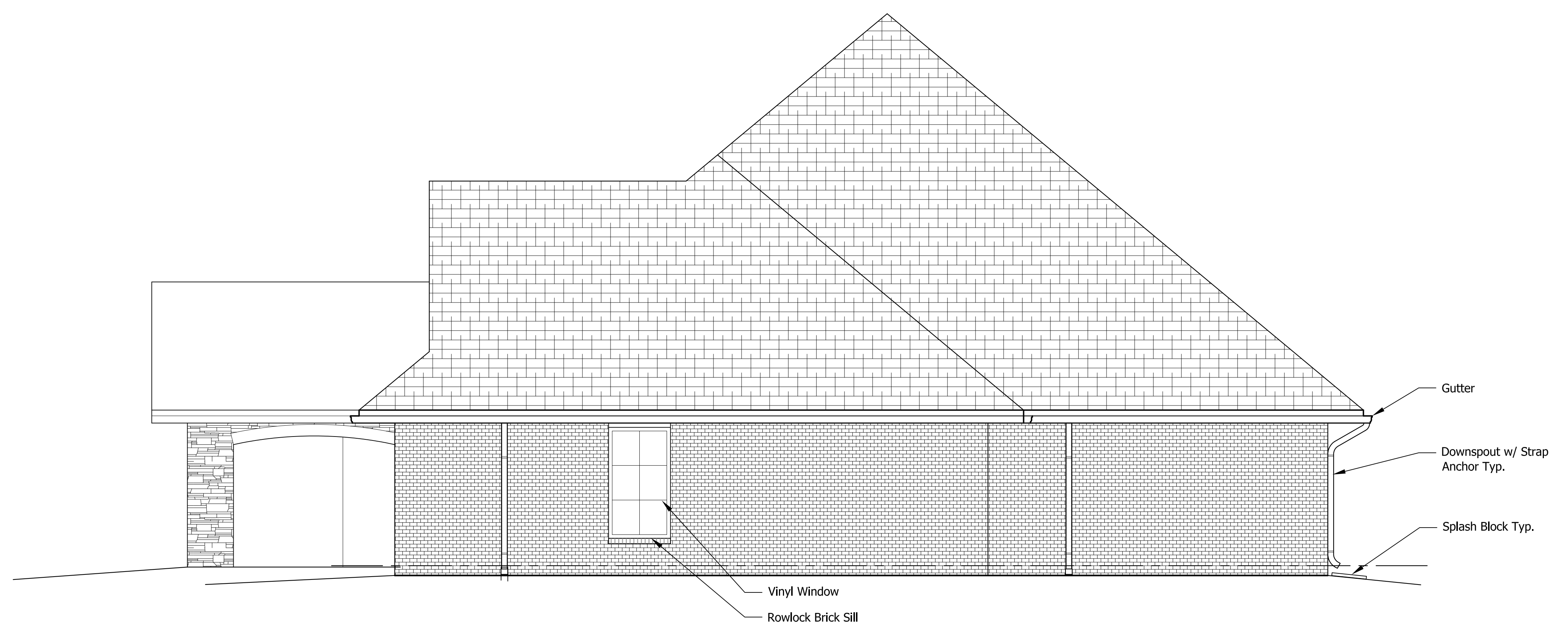
1 WEST ELEVATION
A3.1 SCALE: 1/4"=1'-0"

- EXTERIOR MATERIALS AND COLORS**
- BRICK:**
Acme Brick Red Colorado Mod, Modular Size
 - CULTURED STONE:**
Bauer Farm Stone by Canyon Stone, Olathe, KS
 - COMPOSITION SHINGLES:**
GAF Camelot Williamsburg Slate Shingles
 - EIFS:**
Dryvit EIFS 386A Pure Cream, Sandpebble Finish
 - FIBER CEMENT TRIM BOARDS:**
HardieTrim, 9.25" Width with Behr Premium Plus Paint,
Color: Sea Fern ECC-38-3
 - FIBER CEMENT SOFFIT PANELS:**
HardieSoffit Ventilated Panels
 - GUTTERS & DOWNSPOUTS:**
Bronze Color Prefinished Aluminum by American
Construction Materials
 - EXTERIOR HM DOORS & FRAMES:**
Match Gutter & Downspout Color

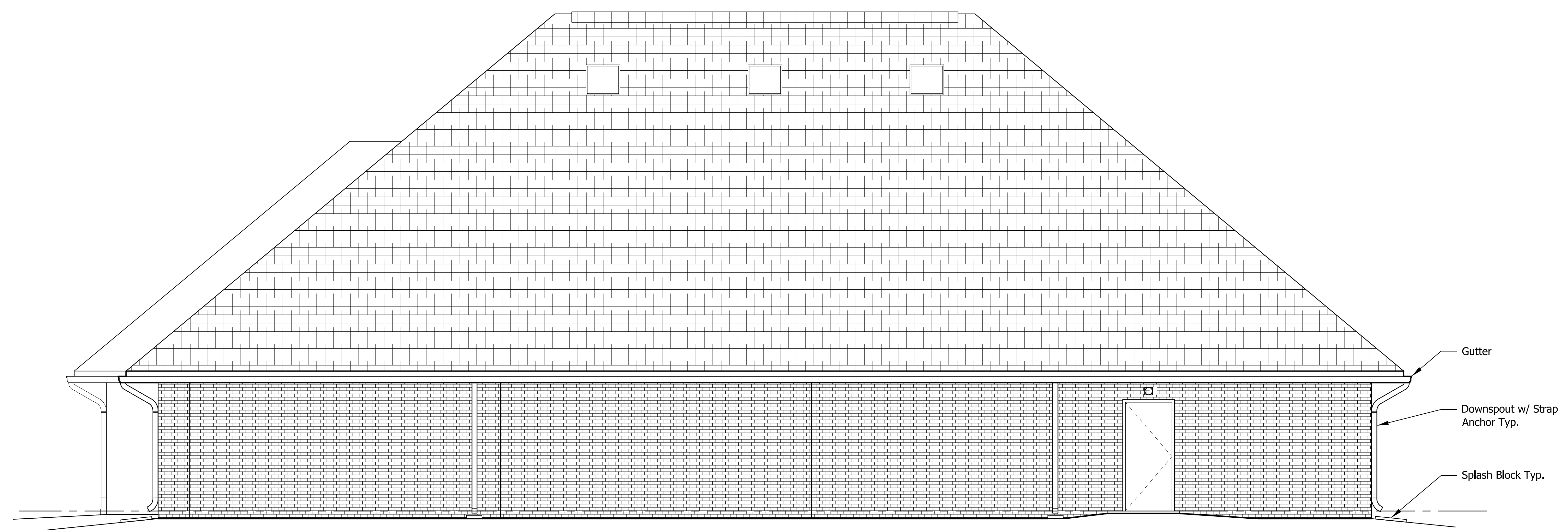


2 SOUTH ELEVATION
A3.1 SCALE: 1/4"=1'-0"

XPRESS WELLNESS URGENT CARE
WALK-IN CLINIC
 NW CORNER OF SIXTH & FOLKS ROAD
 LAWRENCE, KANSAS



1 EAST ELEVATION
A3.2 SCALE: 1/4"=1'-0"

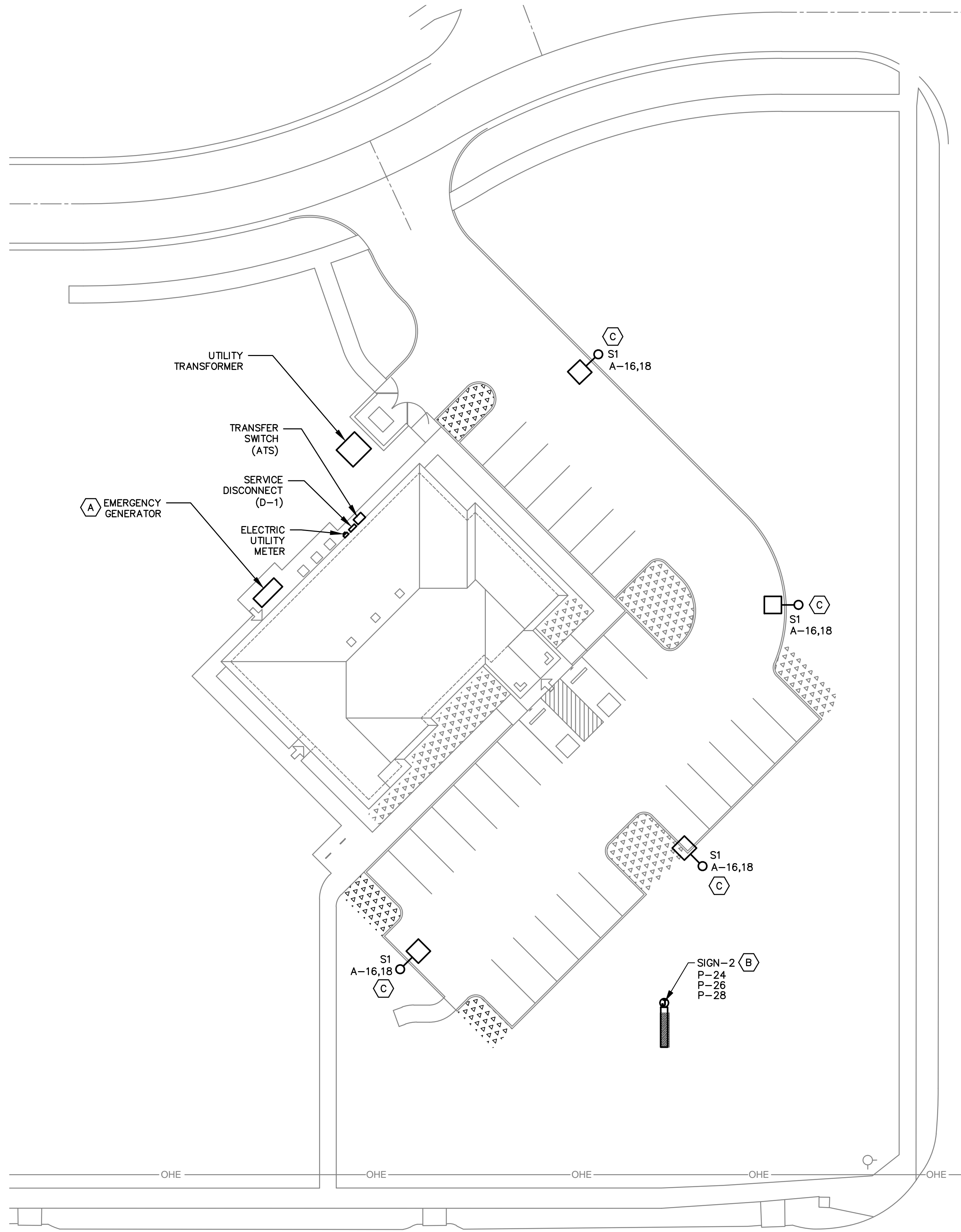


2 NORTH ELEVATION
A3.2 SCALE: 1/4"=1'-0"

XPRESS WELLNESS URGENT CARE
WALK-IN CLINIC
NW CORNER OF SIXTH & FOLKS ROAD
LAWRENCE, KANSAS

BUILDING ELEVATIONS
EAST & NORTH

6-10-15
SHEET
A3.2



1 SITE PLAN
E1.1 SCALE: 1" = 20'-0"

DRAWING NOTES

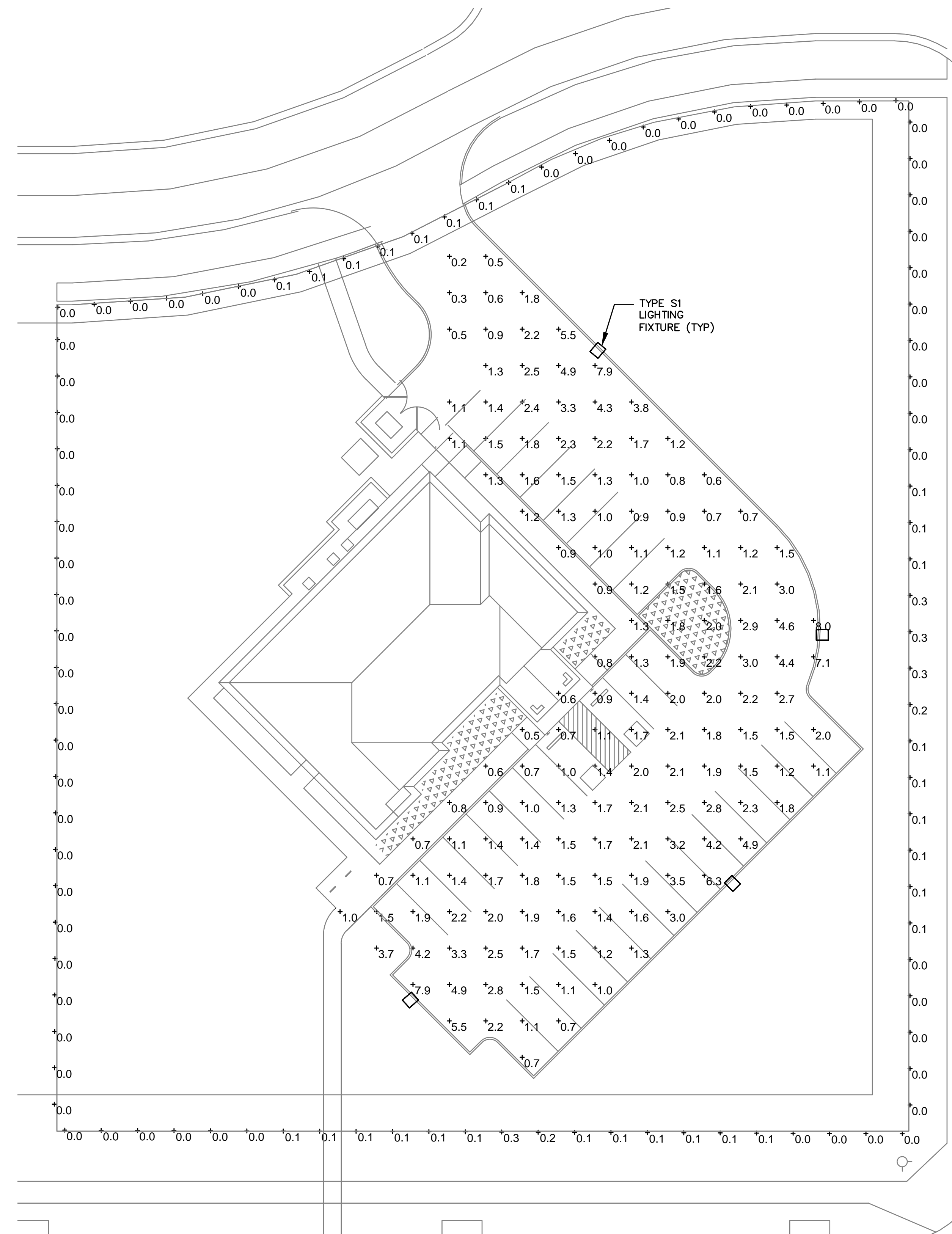
1. ALL POLE-MOUNTED FIXTURES MOUNTED IN 20' POLES.

NOTES BY SYMBOL

A. EMERGENCY GENERATOR LOCATED AT LEAST 5 FEET FROM ANY BUILDING OPENING.

B. PYLON SIGN.

C. POLE-MOUNTED LIGHTING FIXTURE TYPE S1.



2 PHOTOMETRIC SITE PLAN
E1.1 SCALE: 1" = 20'-0"

FINAL DEVELOPMENT PLAN

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XPRESS WELLNESS URGENT CARE
WALK-IN CLINIC
NW CORNER OF SIXTH & FOLKS ROAD
LAWRENCE, KANSAS

SITE PLAN - ELECTRICAL
6-10-15
SHEET
E1.1

Roberto Torres, P.E. # 15712
8237 DeBelfield Dr. Fort Worth, TX 76131
Tel: 682-556-0848; Fax: 817-345-3552