

2' MINIMUM

IF APPROPRIATE)

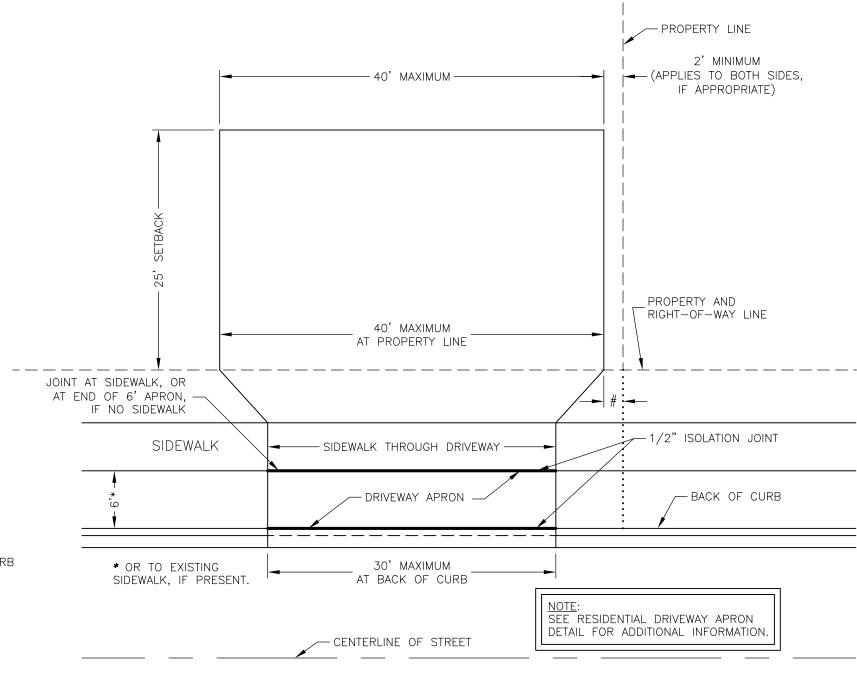
→ (APPLIES TO BOTH SIDES.

∕ → # ;--

- 1/2: ISOLATION JOINT

NOTE:
| SEE RESIDENTIAL DRIVEWAY APRON

DETAIL FOR ADDITIONAL INFORMATION.



### DRIVEWAY DETAIL FOR A DUPLEX WHERE 2-CAR GARAGES ARE SIDE BY SIDE

SCALE : 1"=10' (SKETCH B) NOTE: DRIVEWAY APRON MAY BE FLARED, IF DESIRED; HOWEVER, THE MAXIMUM WIDTH AT THE CURB REMAINS AT 30 FEET.

#### PROPERTY LINE PROPERTY LINE — 2' MINIMUM 2' MINIMUM → (APPLIES TO BOTH SIDES, (APPLIES TO BOTH SIDES, → IF APPROPRIATE) IF APPROPRIATE) —— 20'MAXIMUM — **---**PROPERTY AND RIGHT-OF-WAY LINE 20' MAXIMUM 20' MAXIMUM AT PROPERTY LINE AT PROPERTY LINE JOINT AT SIDEWALK, OR JOINT AT SIDEWALK, OR — AT: END OF 6' APRON, AT END OF 6' APRON, JOINT \IF:NO SIDEWALK IF NO SIDEWALK SIDEWALK THROUGH DRIVEWAY THROUGH DRIVEWAY — DRIVEWAY APRON — — BACK OF CURB 20' MINIMUM 20' MAXIMUM AT BACK OF CURB AT BACK OF CURB AT BACK OF CURB \* OR TO EXISTING SIDEWALK, IF PRESENT. SEE RESIDENTIAL DRIVEWAY APRON DETAIL FOR ADDITIONAL INFORMATION. CENTERLINE OF STREET

# DRIVEWAY DETAIL FOR A SINGLE FAMILY HOME

—— 34'MAXIMUM ———

— 26'MAXIMUM —

SIDEWALK THROUGH DRIVEWAY ---

- DRIVEWAY APRON -

AT BACK OF CURB

- CENTERLINE OF STREET

PROPERTY AND RIGHT-OF-WAY LINE

\_\_\_\_\_\_ JOINT AT SIDEWALK, OR AT END OF 6' APRON, -

IF NO SIDEWALK

SIDEWALK

\* OR TO EXISTING

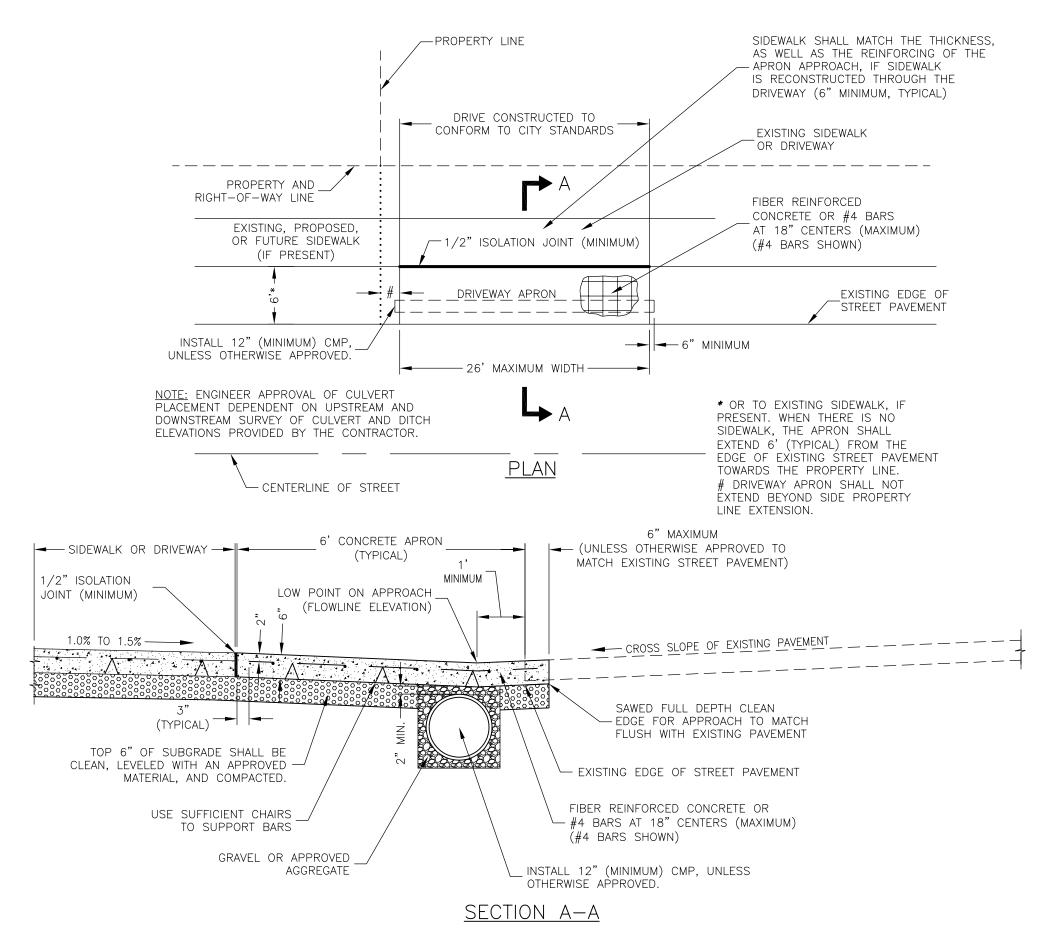
SIDEWALK, IF PRESENT.

- BACK OF CURB

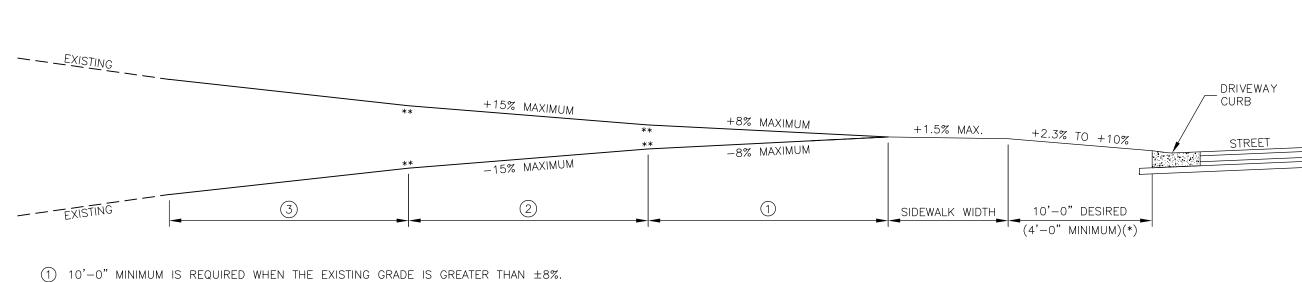
SCALE : 1"=10' (SKETCH A) NOTE: DRIVEWAY APRON MAY BE FLARED, IF DESIRED; HOWEVER, THE MAXIMUM WIDTH AT THE CURB REMAINS AT 26 FEET.

## DRIVEWAY DETAIL FOR A DUPLEX WHERE 2-CAR GARAGES ARE SEPARATED

SCALE : 1"=10' (SKETCH C) NOTE: DRIVEWAY APRON MAY BE FLARED, IF DESIRED; HOWEVER, THE MAXIMUM WIDTH AT THE CURB REMAINS AT 20 FEET.



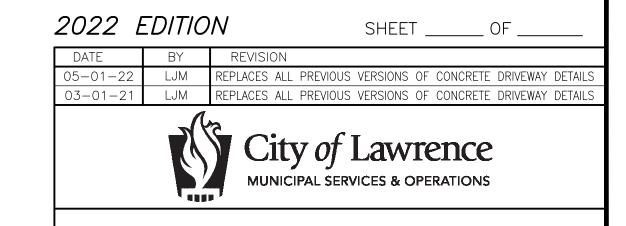
## RESIDENTIAL DRIVEWAY APRON-NO CURB



- $\bigcirc$  10'-0" MINIMUM IS REQUIRED WHEN THE EXISTING GRADE IS GREATER THAN  $\pm 15\%$ .
- $\bigcirc$  10'-0" MINIMUM IS REQUIRED WHEN THE EXISTING GRADE IS GREATER THAN  $\pm 22\%$ .

\*O FEET IS ALLOWED IN URBAN BUSINESS DISTRICTS WITH SIDEWALKS OF 6 FEET MINIMUM WIDTH. \*\*10 FEET MINIMUM ROUNDING DESIRABLE AT GRADE CHANGES.

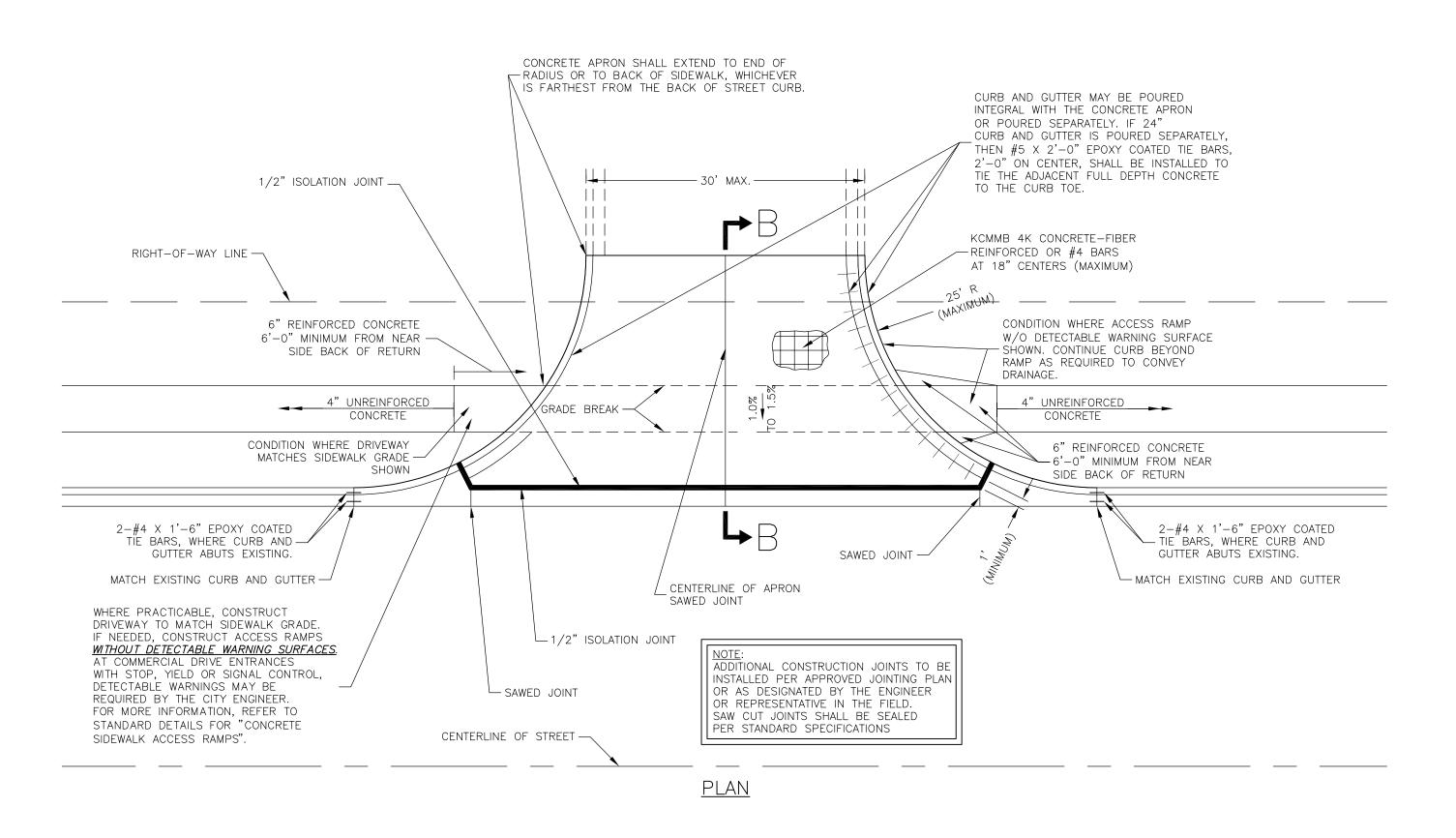
# PROFILE WITH SIDEWALK (MAXIMUM PERCENT OF GRADE)

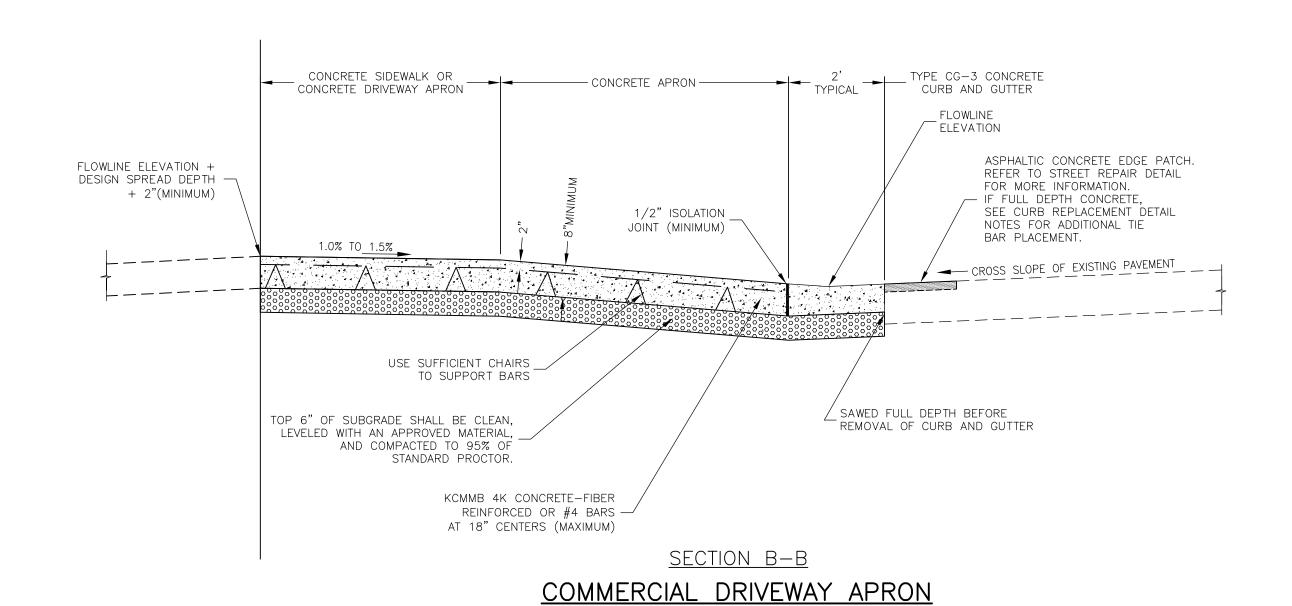


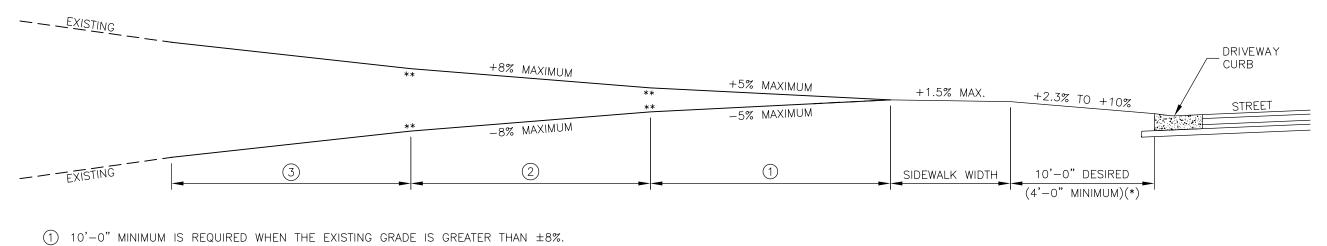
STANDARD DETAILS FOR CONCRETE RESIDENTIAL DRIVEWAYS

DAVID P. CRONIN CRAIG S. OWENS

RESIDENTIAL DRIVEWAY DETAILS







(1) 10'-0" MINIMUM IS REQUIRED WHEN THE EXISTING GRADE IS GREATER THAN ±8%.

(2) 10'-0" MINIMUM IS REQUIRED WHEN THE EXISTING GRADE IS GREATER THAN ±15%.

\*O FEET IS ALLOWED IN URBAN BUSINESS DISTRICTS WITH SIDEWALKS OF 6 FEET MINIMUM WIDTH.

3 10'-0" MINIMUM IS REQUIRED WHEN THE EXISTING GRADE IS GREATER THAN  $\pm 22\%$ .

\*\*10 FEET MINIMUM ROUNDING DESIRABLE AT GRADE CHANGES.

PROFILE WITH SIDEWALK (MAXIMUM PERCENT OF GRADE)

